



Soil Engineers Ltd.

CONSULTING ENGINEERS

GEOTECHNICAL • ENVIRONMENTAL • HYDROGEOLOGICAL • BUILDING SCIENCE

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April 12, 2024
(Revision of Report Dated March 20, 2024)

Reference No. 2201-E040
Page 1 of 9

Green Ginger Development Inc.
351 King Street East, 13th Floor,
Toronto, ON
M5A 0L6

Attention: Mr. Lukas Reale

**Re: Phase One Environmental Site Assessment Update
Proposed Residential Development
Lots 13 and 14, Concession 1
(Green Ginger Phase 2 Lands)
Town of Oakville**

Dear Sir,

Soil Engineers Ltd. (SEL) was retained to carry out a Phase One Environmental Site Assessment Update (Phase One ESA Update) for a property that is part of Lots 13 and 14, Concession 1, in the Town of Oakville (hereafter referred to as the “subject site”). The purpose of this Phase One ESA Update was to provide updated information further to the original Phase One Environmental Site Assessment (Phase One ESA, Reference No. 2201-E040, dated February 25, 2022), for the proposed residential development at the subject site. This Phase One ESA Update should be read in conjunction with the original Phase One ESA.

The following sections of the original Phase One ESA are updated through the additional information gathered from further records review, interview and site reconnaissance:



Section 2.1 – Phase One Property Information

The subject site, as shown on the Site Location Plan, Drawing No. 1, is located at west of Trafalgar Road and approximately 315 m to the north of Dundas Street East, in the Town of Oakville. The subject site Property Index Number (PIN) is 24929-5427 (LT), as Drawing No. 2. The legal description from the parcel registry is documented as “PART LOTS 13 & 14 CONCESSION 1 TRAFALGAR NORTH OF DUNDAS STREET, PT 1 20R14237; SAVE & EXCEPT PARTS 6 & 14 HR892157, PLAN 20M1163 & PLAN 20M1175 & PARTS 3, 4, 5 & 8 20R21250 & PARTS 1, 2, 5 & 10 20R21101; SUBJECT TO AN EASEMENT IN GROSS OVER PART LOT 14 CONCESSION 1 TRAFALGAR NORTH OF DUNDAS STREET, PART 3 20R21101 AS IN HR1588084; SUBJECT TO AN EASEMENT IN GROSS OVER PART LOT 14 CONCESSION 1 TRAFALGAR NORTH OF DUNDAS STREET, PARTS 3 & 4 20R21101 AS IN HR1588318; TOWN OF OAKVILLE”.

The subject site is irregular in shape, encompassing an approximate area of 39.44 hectares (ha) (97.48 acres (ac)).

Section 2.2 – Contact Information

This Phase One ESA Update was commissioned to address any potential environmental concerns in association with the proposed residential development in accordance with our proposal dated February 13, 2024. Our client can be contacted at:

Green Ginger Development Inc.
351 King Street East, 13th Floor,
Toronto, ON
M5A 0L6

Attention: Mr. Lukas Reale



Section 4.0 – Records Review

Section 4.1 (iv) – Chain of Title

An online land title search (ONLAND) was conducted for the subject site at the Halton Region Land Registry Office on March 12, 2024.

The most recent transactions for the subject site are listed in the table below:

PIN	Instrument No.	Year	Party From	Party To
24929-5427 (LT)	HR26101	2000	Accord Realty Limited	Green Ginger Developments Inc. Clear-Day Investments Limited
24929-5427 (LT)	HR26103	2000	Gorecki-Gray Enterprises Inc.	Green Ginger Developments Inc. Clear-Day Investments Limited

The information from the Parcel Register is listed in Appendix ‘A’.

Section 4.1 (v) - Environmental Reports

The following previous report completed by SEL for the subject was reviewed as part of this investigation:

- Phase One Environmental Site Assessment, Proposed Residential Development, 271 Dundas Street East (Green Ginger Phase 2 Lands), Town of Oakville, prepared by Soil Engineers Ltd., Reference No. 2201-E040, dated February 25, 2022.

Summary of Phase One ESA

SEL conducted a Phase One ESA on February 25, 2022. The findings of the Phase One ESA indicated:

- Throughout the years, the subject site has been used for agricultural purpose.



- One (1) stockpile is located at northeast portion of the subject site, which is noted as a surplus materials generated at the subject site.

Section 4.1 (v) - **Environmental Source Information**

(i) Ministry of the Environment, Conservation and Parks (MECP)

MECP Freedom of Information

A request for documented environmental concerns and citations pertaining to the subject site was forwarded to the MECP Freedom of Information Office on March 12, 2024. No response has been received at the time of writing this report. In the event that their response suggests cause for concern, it will be forwarded together with an assessment of its significance. A copy of the request form is included in Appendix 'B'.

Municipal Freedom of Information

A request for documented environmental concerns and citations pertaining to the subject site was forwarded to the Town of Oakville Freedom of Information Office on January 27, 2022. A decision date March 1, 2022 indicates there is no responsive records pertaining to the query. A copy of the decision letter is included in Appendix 'B'.

Section 4.3 – **Physical Setting Sources**

Aerial Photographs

The aerial photograph of year 2022, showing the subject site and surrounding areas was located on the Google Earth, on March 11, 2024. A review of the aerial photograph does not reveal significant changes at the subject site. Building structures were observed at neighbouring



property located to the southwest of the subject sites. A copy of the aerial photograph is presented in Appendix 'C'.

Well Records

The MECP's help desk at Water Well Ontario was contacted on February 28, 2024, regarding the subject site and the surrounding areas. Two (2) well records are listed at the subject site and forty-seven (47) more wells are documented at the neighbouring properties within the Phase One Study Area. A copy of the MECP Well Records is included in Appendix 'D'.

Section 4.5 – **Record Review Summary**

A summary of the relevant information disclosed by our records review as of March 12, 2024, is given below:

- Majority of the subject site has been a farm field. (Source: Aerial Photograph)
- Two (2) monitoring wells are documented at the subject site. (Source: MECP)
- The subject site is adjacent to roadways (i.e. Trafalgar Road) to the east of the subject site. (Source: Maps, Aerial Photograph)

5.1 **Owner Interview**

Mr. Lukas Reale, representative of owner of the subject site, filled the questionnaire form on February 26, 2024. Based on his understanding the subject site has been comprised of farm field and vacant areas. He has no knowledge of any ASTs, USTs, stain, odour, and spill at the subject site. He also informed that a Phase One ESA was carried out for the subject site. A review of the report is presented in section 4.1 (v) of this Phase One ESA Update report. A copy of the interview document is included in Appendix 'E'.



5.2 Summary of Owner Interview

The subject site is comprised of farm field and vacant areas.

Section 6.1 – Site Reconnaissance (General)

A visual inspection of the subject site and the publicly accessible areas of the Phase One Study Area was conducted by our representative, Ms. Kristen Russell, H. B.A.Sc. on February 28, 2024, to determine the general environmental conditions of the subject site. The conditions and timing of the site visit are presented in the table below:

Date	Weather Condition	Temperature	Duration of Visit	Precipitation Conditions
Wednesday 2024-02-28	Cloudy with snow	-5 °C	2 hr 14:00 to 16:00	Light snow

Site photographs taken during the inspection are presented in Appendix ‘F’.

At the time of inspection, majority of southern portion of the subject site was farm field and north/northwest portion was vacant/wooded areas. One (1) stockpile was observed at northeastern portion of the subject sites, which is noted a surplus materials generated at the subject site in previous Phase One ESA interview. A total of four (4) hydrological monitoring wells were observed at the subject site. The neighbouring properties consist of farm field to the north, and residential properties to the east, south, and west. The boundaries are separated by a fence along the neighboring farm field to the north and Trafalgar Road to the east. The southern boundary is separated by a gravel walking path.

The ground surface at the subject site undulates with long gradual slopes in the agricultural fields with an overall slope towards the east. There was no visible sign of any underground tank, excavated pit, or sump at the subject site. There was no noticeable nuisance odour, stained soil or stressed vegetation observed in any areas of the subject site. There was no evidence to suggest that materials of environmental concerns are disposed off at the subject site.



Section 6.3 – **Summary of Site Reconnaissance**

Our site reconnaissance, conducted on February 28, 2024, has revealed the following items which warrant further discussion:

- Majority of the subject site is farm field.
- Four (4) hydrological monitoring wells were observed at the subject site.
- The subject site is adjacent to roadway (i.e. Trafalgar Road) to the east of the subject site.

Section 7.2 – **Discussion of Environmental Items**

Based on our updated review of records, interview and site reconnaissance, as of March 12, 2024, the following information pertaining to the environmental condition of the subject site has been disclosed by the Phase One ESA Update:

- Majority of the subject site is farm field. (Source: Records Review, Site Reconnaissance)
- Four (4) hydrological monitoring wells were observed at the subject site. (Source: Records Review, Site Reconnaissance)
- The subject site is adjacent to roadway (i.e. Trafalgar Road) to the east of the subject site. (Source: Records Review, Site Reconnaissance)

We have evaluated the risk associated with specific items in the above list to determine the potential for that activity to impact the environmental condition of the subject site.

Pesticide Use at the Subject Site

Based on records review and site reconnaissance, majority of the subject site was used for agricultural purposes. Bulk application of pesticide is not anticipated at the subject site. Hence, this is not considered a PCA.



Monitoring Well at the Subject Site

Based on the records review and site reconnaissance, four (4) monitoring wells are located at the subject site. Prior to development, it is recommended that all wells that are not in use located at the subject site be decommissioned as per O. Regulation 903. A copy of the work orders should be retained for future reference.

Section 7.3 – Areas of Potential Environmental Concern (APEC)

Based on our review of the activities identified at the subject site and Phase One Study Area, no APECs are identified at the subject site.

Section 7.4 – **Phase One Conceptual Site Plan**

A Phase One Conceptual Site Plan illustrating the findings and results of the assessment is presented on Drawing No. 3.

Section 8.1 Phase Two Assessment Recommendation

The Phase One ESA Update has revealed that there is low potential for environmental concern attendant to the subject site at this time. No Phase Two Environmental Site Assessment is recommended at this time, as we find the subject site suitable for the proposed development.



LIMITATIONS OF LIABILITY

This report was prepared by Soil Engineers Ltd. for the account of Green Ginger Development Inc. and for review by its designated agents, financial institutions and government agencies. Use of the report is subject to the conditions and limitations of the contractual agreement. The material in it reflects the judgement of Madan K. Suwal, PhD, EPt. and Eleni Girma Beyene, P.Eng., QP_{ESA} in light of the information available at the time of preparation. Any uses which a Third Party makes of this report, and/or any reliance on decisions to be made based on it are the responsibility of such Third Parties. Soil Engineers Ltd. accepts no responsibility for damages, if any, suffered by any Third Party as a result of decisions made or actions based on this report.

One must understand that the mandate of Soil Engineers Ltd. is to obtain readily available past and present information pertinent to the subject site for a Phase One Environmental Site Assessment Update only. No other warranty or representation, expressed or implied, as to the accuracy of the information is included or intended by this assessment. Site conditions, environmental or otherwise, are not static, and this report documents site conditions observed at the time of the site reconnaissance.

It should be noted that the information supplied in this report is not sufficient to obtain approval for disposal of excess soil or materials generated during construction.

Yours very truly,

SOIL ENGINEERS LTD.

Madan K. Suwal, PhD, EPt.
MKS/EGB: mks

Eleni Girma Beyene, P.Eng., QP_{ESA}





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DRAWINGS

REFERENCE NO. 2201-E040



Subject Site



Soil Engineers Ltd.

Title

Site Location Plan

Project

Proposed Residential
Development
Lots 13 and 14, Concession 1
Town of Oakville

Reference No.

2201-E040

Date

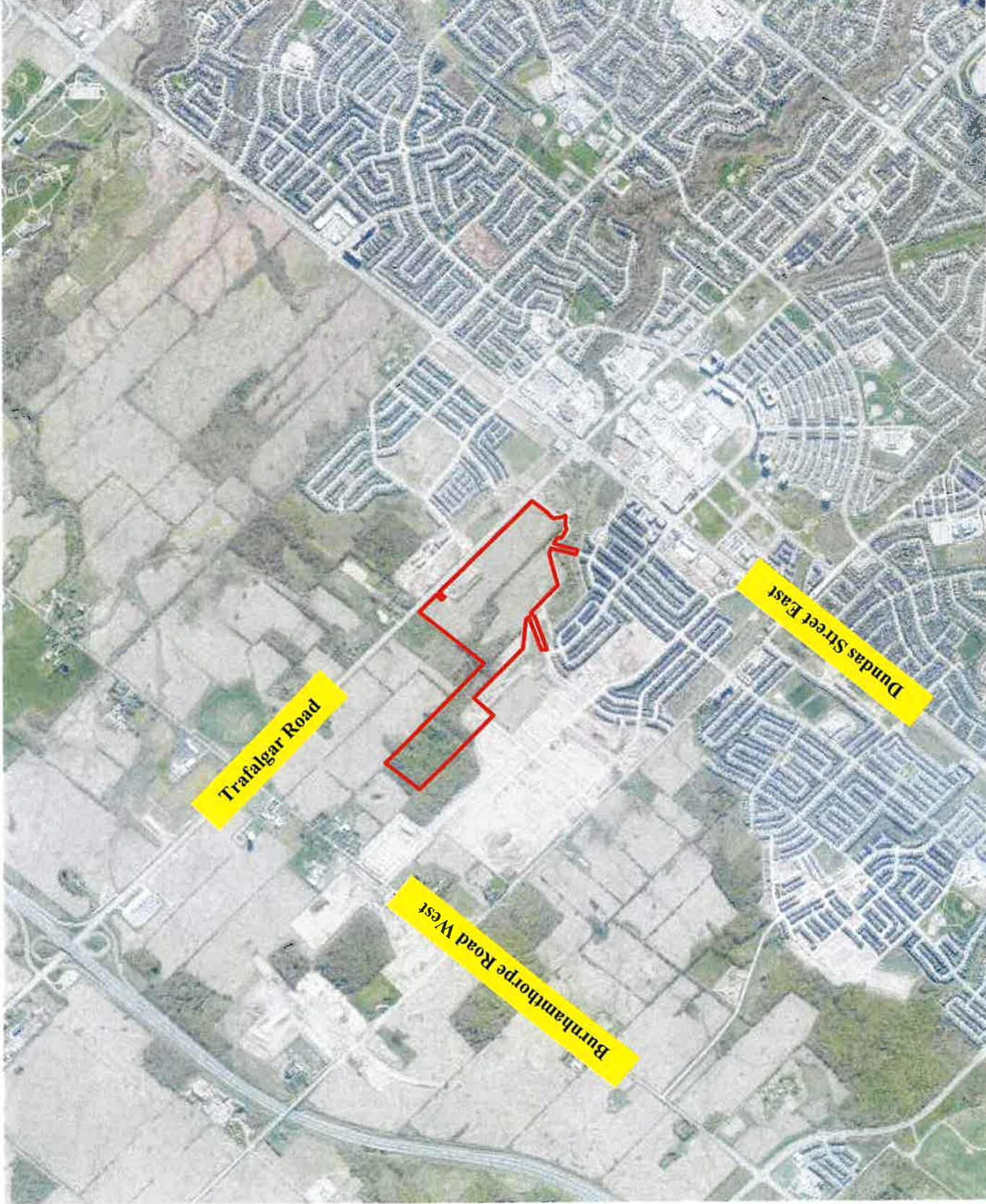
March 11, 2024

Scale

Refer to Plan

Drawing No.

1



Source: Ministry of Natural Resources and Forestry
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Subject Site



Soil Engineers Ltd.

Title

Property Index Map

Project

Proposed Residential
Development
Lots 13 and 14, Concession 1
Town of Oakville

Reference No.

2201-E040

Date

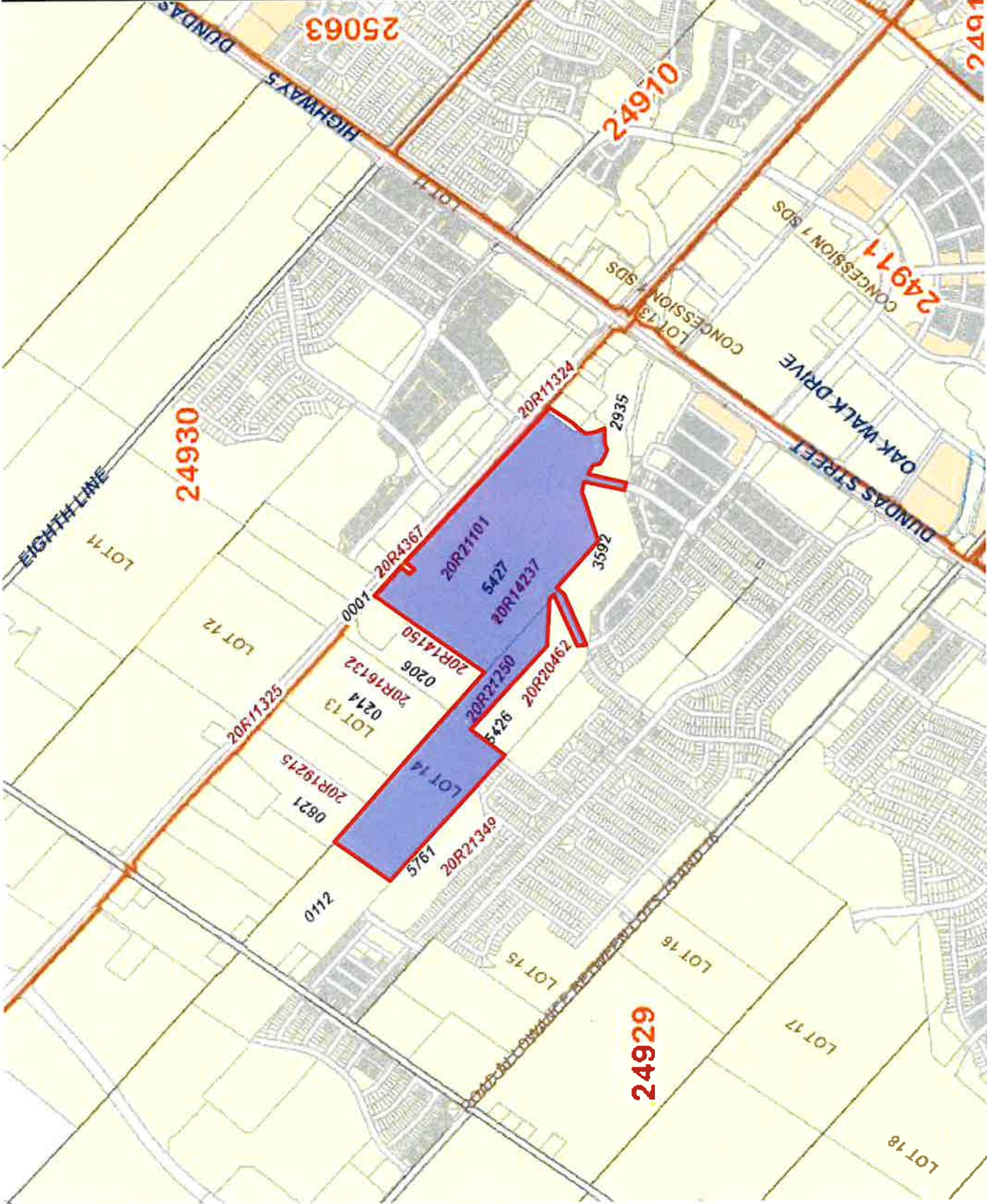
March 11, 2024

Scale

See Drawing

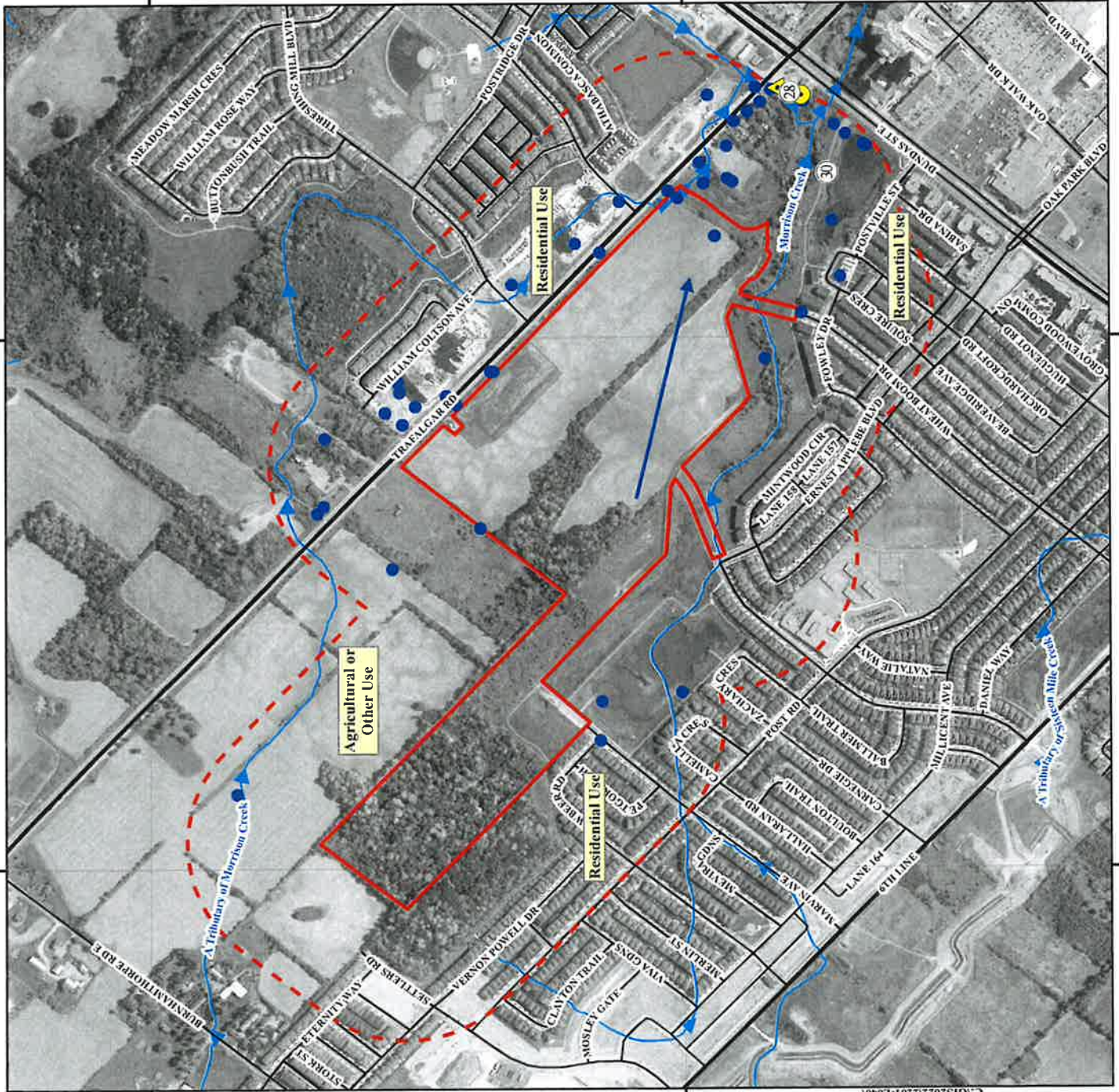
Drawing No.

2



Source: Halton Land Registry Office (No.20)
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	<p>Subject Site</p> <p>Phase One Study Area</p> <p>Waterbody</p> <p>Inferred Groundwater Flow Direction</p> <p>Major Road</p> <p>Local Road</p> <p>Water Well Location from MECP Well Help Desk</p> <p>Potentially Contaminating Activities (PCAs)</p> <p>Gasoline and Associated Products Storage in Fixed Tanks</p> <p>Importation of Fill Material of Unknown Quality</p> <p>Additional Potential Sources of Contamination</p> <p>Other - Waste Generator</p> <p>Other - Spill Incident</p>
<p>Soil Engineers Ltd.</p>	
<p>Title: Phase One Conceptual Site Plan</p>	
<p>Project:</p> <p>Proposed Residential Development</p> <p>Lots 13 and 14, Concession 1</p> <p>Town of Oakville</p>	
<p>Reference No. 2201-E040</p>	
<p>Date: March 12, 2024</p>	
<p>Scale:</p> <p>Metres</p>	
<p>Drawing No. 3</p>	

Source: Ontario Ministry of Natural Resources and Forestry
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APPENDIX 'A'

PARCEL REGISTRY

REFERENCE NO. 2201-E040



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PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 1 OF 4
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ON 2024/03/12 AT 09:36:32

ONLAND

24929-5427 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PART LOTS 13 & 14 CONCESSION 1 TRAFALGAR NORTH OF DUNDAS STREET, PT 1 20R14237; SAVE & EXCEPT PARTS 6 & 14 HR892157, PLAN 20M1163 & PLAN 20M1175 & PARTS 3, 4, 5 & 8 20R21250 & PARTS 1, 2, 5 & 10 20R21101; SUBJECT TO AN EASEMENT IN GROSS OVER PART LOT 14 CONCESSION 1 TRAFALGAR NORTH OF DUNDAS STREET, PART 3 20R21101 AS IN HR1588084; SUBJECT TO AN EASEMENT IN GROSS OVER PART LOT 14 CONCESSION 1 TRAFALGAR NORTH OF DUNDAS STREET, PARTS 3 & 4 20R21101 AS IN HR1588318; TOWN OF OAKVILLE

PROPERTY REMARKS: S/T SUB-SEC. 44(1) OF THE LAND TITLES ACT EXCEPT PAR. 3 & 14 THEREOF & PROVINCIAL SUCCESSION DUTIES.

RECENTLY:
DIVISION FROM 24929-3609
PIN CREATION DATE:
2018/12/12

CAPACITY SHARE

OWNERS' NAMES
CLEAR-DAY INVESTMENTS LIMITED
GREEN GINGER DEVELOPMENTS INC.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
** PRINTOUT	INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2018/12/12 **					
654617	1986/11/20	TRANSFER	\$645,010		ACCORD REALTY LIMITED GORECKI-GRAY ENTERPRISES INC. CLEAR-DAY INVESTMENTS LIMITED	C
HR26101	2000/11/29	TRANSFER REMARKS: PLANNING ACT STATEMENTS	\$8,314,050	ACCORD REALTY LIMITED	GREEN GINGER DEVELOPMENTS INC.	C
HR26103	2000/11/29	TRANSFER REMARKS: PLANNING ACT STATEMENTS	\$2,078,574	GORECKI-GRAY ENTERPRISES INC.	GREEN GINGER DEVELOPMENTS INC.	C
20R14237	2001/08/30	PLAN REFERENCE				C
HR563125	2007/04/30	CHARGE		*** DELETED AGAINST THIS PROPERTY *** GREEN GINGER DEVELOPMENTS INC.	ROBBINS, MIRIAM ROBBINS, LARRY	C
HR658103	2008/04/24	NOTICE		THE CORPORATION OF THE TOWN OF OAKVILLE		C
HR682510	2008/07/22	APL OF SURV-CHRG		*** DELETED AGAINST THIS PROPERTY *** ROBBINS, MIRIAM	ROBBINS, LARRY	C
HR689764	2008/08/15	NOTICE	\$1	NORTH OAKVILLE COMMUNITY BUILDERS INC.		C
HR719272	2008/11/25	NOTICE		NORTH OAKVILLE COMMUNITY BUILDERS INC.		C
HR837007	2010/04/30	NOTICE		*** DELETED AGAINST THIS PROPERTY *** ROBBINS, LARRY	GREEN GINGER DEVELOPMENTS INC.	C
REMARKS:	HR563125					

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24929-5427 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHXD
HR886611	2010/11/01	NOTICE	\$2	GREEN GINGER DEVELOPMENTS INC. CLEAR-DAY INVESTMENTS LIMITED	THE REGIONAL MUNICIPALITY OF HALTON	C
HR913800	2011/03/14	CHARGE	\$150,000.000	CLEAR-DAY INVESTMENTS LIMITED GREEN GINGER DEVELOPMENTS INC.	THE BANK OF NOVA SCOTIA	C
HR913801	2011/03/14	POSTPONEMENT		*** DELETED AGAINST THIS PROPERTY *** ROBBINS, LARRY	THE BANK OF NOVA SCOTIA	C
HR109828	2013/05/08	NOTICE		ROBBINS, LARRY	GREEN GINGER DEVELOPMENTS INC.	C
HR1196679	2014/07/15	NOTICE		GREEN GINGER DEVELOPMENTS INC. CLEAR-DAY INVESTMENTS LIMITED	THE REGIONAL MUNICIPALITY OF HALTON	C
HR1196680	2014/07/15	NOTICE		GREEN GINGER DEVELOPMENTS INC. CLEAR-DAY INVESTMENTS LIMITED	THE REGIONAL MUNICIPALITY OF HALTON	C
HR1292769	2015/07/16	NOTICE		*** DELETED AGAINST THIS PROPERTY *** ROBBINS, LARRY	GREEN GINGER DEVELOPMENTS INC.	C
HR1295825	2015/09/01	NOTICE		THE REGIONAL MUNICIPALITY OF HALTON	GREEN GINGER DEVELOPMENTS INC. CLEAR-DAY INVESTMENTS LIMITED	C
HR1295826	2015/09/01	POSTPONEMENT		ROBBINS, LARRY	THE REGIONAL MUNICIPALITY OF HALTON	C
HR1295827	2015/09/01	POSTPONEMENT		THE BANK OF NOVA SCOTIA	THE REGIONAL MUNICIPALITY OF HALTON	C
HR1295828	2015/09/01	POSTPONEMENT		NORTH OAKVILLE COMMUNITY BUILDERS INC.	THE REGIONAL MUNICIPALITY OF HALTON	C
HR1295829	2015/09/01	POSTPONEMENT		NORTH OAKVILLE COMMUNITY BUILDERS INC.	THE REGIONAL MUNICIPALITY OF HALTON	C
HR1386334	2016/08/24	POSTPONEMENT		*** DELETED AGAINST THIS PROPERTY *** ROBBINS, LARRY	THE REGIONAL MUNICIPALITY OF HALTON	C
				REMARKS: HR563125, HR682510 TO HR1386333		

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24929-5427 (LT)

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REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
HRI1386335	2016/08/24	POSTPONEMENT REMARKS: HR913800 TO HRI1386333		*** DELETED AGAINST THIS PROPERTY *** THE BANK OF NOVA SCOTIA	THE REGIONAL MUNICIPALITY OF HALTON	
HRI449692	2017/04/26	NOTICE REMARKS: HR563125		*** DELETED AGAINST THIS PROPERTY *** ROBBINS, LARRY	GREEN GINGER DEVELOPMENTS INC.	
HRI1527434	2018/02/27	NOTICE REMARKS: HR563125		*** DELETED AGAINST THIS PROPERTY *** ROBBINS, LARRY	GREEN GINGER DEVELOPMENTS INC.	
20R21101	2018/05/07	PLAN REFERENCE				C
HRI1582244	2018/10/30	APL (GENERAL) REMARKS: DELETING HR689764 & HR719472, PARTS 1 TO 5 &		NORTH OAKVILLE COMMUNITY BUILDERS INC. PART 10 20R21101		C
HRI1588084	2018/11/27	TRANSFER EASEMENT	\$2	CLEAR-DAY INVESTMENTS LIMITED GREEN GINGER DEVELOPMENTS INC.	THE REGIONAL MUNICIPALITY OF HALTON	C
HRI1588085	2018/11/27	POSTPONEMENT REMARKS: HR563125 TO HRI1588084; PART 3 20R21101		ROBBINS, LARRY	THE REGIONAL MUNICIPALITY OF HALTON	C
HRI1588086	2018/11/27	POSTPONEMENT REMARKS: HR913800 TO HRI1588084; PART 3 20R21101		THE BANK OF NOVA SCOTIA	THE REGIONAL MUNICIPALITY OF HALTON	C
HRI1588318	2018/11/28	TRANSFER EASEMENT	\$2	CLEAR-DAY INVESTMENTS LIMITED GREEN GINGER DEVELOPMENTS INC.	THE CORPORATION OF THE TOWN OF OAKVILLE	C
HRI1588319	2018/11/28	POSTPONEMENT REMARKS: HR563125 TO HRI1588318; PARTS 3 & 4 20R21101		ROBBINS, LARRY	THE CORPORATION OF THE TOWN OF OAKVILLE	C
HRI1588320	2018/11/28	POSTPONEMENT REMARKS: HR913800 TO HRI1588318; PARTS 3 & 4 20R21101		THE BANK OF NOVA SCOTIA	THE CORPORATION OF THE TOWN OF OAKVILLE	C
HRI1610448	2019/03/21	NOTICE REMARKS: HR563125		*** COMPLETELY DELETED *** ROBBINS, LARRY	GREEN GINGER DEVELOPMENTS INC.	
HRI1653663	2019/10/01	NOTICE REMARKS: AMENDS HR563125		*** COMPLETELY DELETED *** GREEN GINGER DEVELOPMENTS INC.	ROBBINS, LARRY	

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PAGE 4 OF 4

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24929-5427 (LT)

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REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
HR1703067	2020/05/27	DISCH OF CHARGE		*** COMPLETELY DELETED *** ROBBINS, LARRY		
	REMARKS: HR563125.					
HR1721454	2020/08/19	NOTICE	\$2	GREEN GINGER DEVELOPMENTS INC. CLEAR-DAY INVESTMENTS LIMITED	THE REGIONAL MUNICIPALITY OF HALTON	C
HR1980658	2023/08/04	APL DEPOSIT PLAN		*** COMPLETELY DELETED ***		
20522483	2023/08/08	PLAN REFERENCE				C
	REMARKS: HR1980658.					

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90 WEST BEAVER CREEK ROAD, SUITE 100, RICHMOND HILL, ONTARIO L4B 1E7 · TEL: (416) 754-8515 · FAX: (905) 881-8335

BARRIE
TEL: (705) 721-7863
FAX: (705) 721-7864

MISSISSAUGA
TEL: (905) 542-7605
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OSHAWA
TEL: (905) 440-2040
FAX: (905) 725-1315

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GRAVENHURST
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FAX: (705) 684-8522

HAMILTON
TEL: (905) 777-7956
FAX: (905) 542-2769

APPENDIX 'B'

FOI

REFERENCE NO. 2201-E040

Ministry of the Environment, Conservation and Parks

Freedom of Information Request for Property Information

Instructions

Use this form to:

- submit and pay for a new FOI request for access to records/information about a property
- pay for a deposit or a final fee on an existing FOI request

Fields marked with an asterisk (*) are mandatory.

Are you: *

- Submitting a new FOI Request for Property Information
- Paying a deposit or final fee for an existing FOI Request for Property Information

Section 1 – Description of Records Requested

Time Period for Records Requested

From (yyyy/mm/dd) * To (yyyy/mm/dd) *

1950/01/01 2024/03/12

Type of Record(s) *

- All environmental records relating to the identified property/site exclusive of Environmental Approvals and Registrations
- Environmental Approvals and Registrations (e.g. Environmental Compliance Approvals; Certificate of Approval; Renewable Energy Approvals; Environmental Activity and Sector Registry Registrations)

Select only if you are seeking access to an Approval or Registration that is not publicly available or if you are also seeking supporting documents relating to the Approval or Registration.

Operator and vendor Pesticide Licenses from September 4, 2018, final Approvals and Registrations are publicly available on the Access Environment website at:

<https://www.accessenvironment.ene.gov.on.ca/AEWeb/ae/GoSearch.action?search=basic&lang=en>

Records of Site Condition (RSC) records are publicly available on the Brownfields Environmental Site Registry (BSER).

- RSC records between 2004 to June 30, 2011 are available at:
<https://www.lrcsde.lrc.gov.on.ca/besrWebPublic/generalSearch>
- RSC records filed after July 2011 are available at:
https://www.lrcsde.lrc.gov.on.ca/BFISWebPublic/pub/earchFiledRsc_search?request_locale=en

Other Specific Document(s)

Type of Approval/Registration *

- Drinking Water Licenses
- Pesticide Licenses

- Permits to Take Water
- Noise Vibrations Approvals/Registrations
- Air Emissions Approvals/Registrations
- Water Approvals/Registrations - Ontario Water Resources Commission, treatment, ground level, standpipes & elevated storage, pumping stations (local & booster), mains
- Sewage – Treatment, Stormwater, Storm, Leachate & Leachate Treatment & Sewage pump stations, Sanitary
- Waste Water - Industrial discharge
- Waste Sites - Disposal, Landfill sites, Transfer stations, Processing sites, Incinerator sites
- Waste Management Systems - haulers: sewage, non-hazardous & hazardous waste, mobile waste processing units, Polychlorinated Biphenyls (PCBs) storage, transfer or destruction, Waste Generator Systems)
- Waste Generator Registration - number/class

List any record(s) that should be excluded from the scope of your request (e.g. email correspondences; records originating from your organization/business; records already in your possession, prior year(s) annual reports for approvals)

Please provide any additional relevant information relating to your request. For example, does your request relate to any other ministry business? Please note that this information is being requested only in order to provide contextual information to the Access and Privacy Office and will not in any way affect or expedite the status of any related ministry business identified.

Section 2 – Requester Information

Last Name *	First Name *	Middle Initial
Suwal	Madan	

Business/Organization Name (if applicable or indicate "N/A") *

Soil Engineers Ltd.

Project/Reference Number (if applicable)

2201-E040

Are you submitting this request on behalf of a client? *

Yes No

Mailing Address

Unit Number	Street Number *	Street Name *		
100	90	West Beaver Creek Road		
PO Box	City/Town *		Province *	Postal Code *
	Richmond Hill		ON	L4B 1E7

Telephone Number *		Email Address *
416-754-8515	ext.	madan.suwal@soilengineersltd.com

Is there an alternate contact (e.g. office admin)? *

Yes No

Section 3 – Current Property Address Information

Is the property a:

Park Lake First Nation Band Wind Farm Federal Land Island Unsurveyed Land

Are you requesting information about multiple addresses? *

Yes No

Property Address

Unit Number Street Number Street Name
271 Dundas Street East

Full Lot Number Concession Geographic Township
13 & 14 1 N.D.S Halton Region

City/Town/Village *

Town of Oakville

Closest Intersection

Dundas Street East and Trafalgar Road

Section 4 – Previous Property Address Information

Do you want the ministry to search all prior historical addresses for this property/site for the time period of the records requested? *

Yes No

Prior/Historical Property Address

Unit Number Street Number Street Name
271 Dundas Street East

Full Lot Number Concession Geographic Township
13 & 14 1 N.D.S Halton Region

City/Town/Village *

Town of Oakville

Section 5 – Owner Information

Please provide all present and previous property owner and/or tenant names for the search years requested.

Current Property Owner/Tenant

271 Dundas Street East
Lot 13 & 14 Conc 1 N.D.S Halton Region
Town of Oakville

Owner/Tenant * 1

Owner Name

Green Ginger Developments

Tenant Name

Date of Ownership (yyyy/mm/dd)

2000/11/29

Owner/Tenant * 2

Owner Name
Clear-Day Investments

Date of Ownership (yyyy/mm/dd)
1986/11/20

Tenant Name

Previous Property Owner/Tenant

271 Dundas Street East
Lot 13 & 14 Conc 1 N.D.S Halton Region
Town of Oakville

Owner/Tenant 1

Owner Name
Accord Realty Limited

Date of Ownership (yyyy/mm/dd)
1986/11/20

Tenant Name

Owner/Tenant 2

Owner Name
Gorecki-Gray Enterprises

Date of Ownership (yyyy/mm/dd)
1986/11/20

Tenant Name

Section 6 – Supporting Documents

Please upload any documents (e.g. Maps) that are relevant to your FOI request.

The total size of all attachments must not be more than 8 MB.

1. File Name
2201-E040 Site.pdf

Total File Size
0.42 MB

Payment confirmation number: 28678213



OAKVILLE

March 1, 2022

Nicole Ip
Soil Engineers Ltd.
100 - 90 West Beaver Creek
Richmond Hill, ON L4B 1E7

Dear Nicole,

**Re: Freedom of Information Request 2022-0015
Decision Letter**

I am replying to your access request for information under the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*. Your request was to receive:

271 Dundas Street East Oakville

I am looking for the following documents and reports.

***Environmental Concerns (Abatement, General Correspondence, Occurrence reports)**

- **Orders;**
- **Spills;**
- **investigations /prosecutions;**
- **Waste Generator numbers/Classes.**

Access cannot be provided to the records listed above as the records do not exist.

You may ask for a review of this decision within 30 days of receiving this letter by writing to: The Information and Privacy Commissioner/Ontario, 2 Bloor Street East, Suite 1400, Toronto, Ontario, M4W 1A8, Telephone: (416) 326-3333 or toll free 1-800-387-0073.

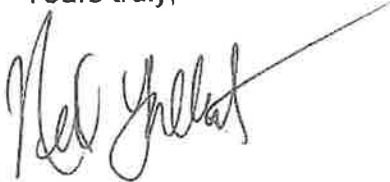
If you decide to request a review of this decision, please provide the Commissioner's office with the following:

- the file number listed at the beginning of this letter;
- a copy of this decision letter;
- a copy of the original request for information you sent to our institution; and
- the reasons why you believe the records exist (if the decision was that no records exist).

In addition, you must send an appeal fee to the Commissioner's office. If your request was for your personal information, the appeal fee is \$10.00. The appeal fee for all other requests for information is \$25.00. Please include the fee with your letter of appeal – appeal fees should be in the form of either a cheque or money order, payable to the Minister of Finance.

If you have any questions or concerns, you can reach me at 905-845-6601 ext.6030.

Yours truly,

A handwritten signature in black ink, appearing to read "Neil Gallant", with a long horizontal stroke extending to the right.

Neil Gallant
Corporate Records, Freedom of Information & Lottery Coordinator

c. Laura Brown, Manager, Records & Information Services



OAKVILLE

March 1, 2022

Nicole Ip
Soil Engineers Ltd.
100 - 90 West Beaver Creek
Richmond Hill, ON L4B 1E7

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Decision Letter**

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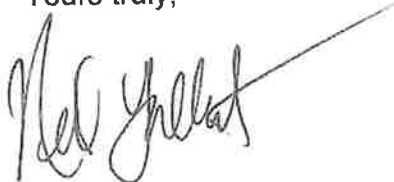
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- the file number listed at the beginning of this letter;
- a copy of this decision letter;
- a copy of the original request for information you sent to our institution; and
- the reasons why you believe the records exist (if the decision was that no records exist).

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Yours truly,

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Neil Gallant
Corporate Records, Freedom of Information & Lottery Coordinator

c. Laura Brown, Manager, Records & Information Services



Soil Engineers Ltd.

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APPENDIX 'C'

AERIAL PHOTOGRAPH

REFERENCE NO. 2201-E040



Subject Site



Soil Engineers Ltd.

Title 2022 Aerial Photograph

Project

Proposed Residential Development
Lots 13 and 14, Concession 1
Town of Oakville

Reference No.

2201-E040

Date

March 11, 2024

Scale

Refer to map

Appendix 'E'

1 of 10



Source: Google Earth ©





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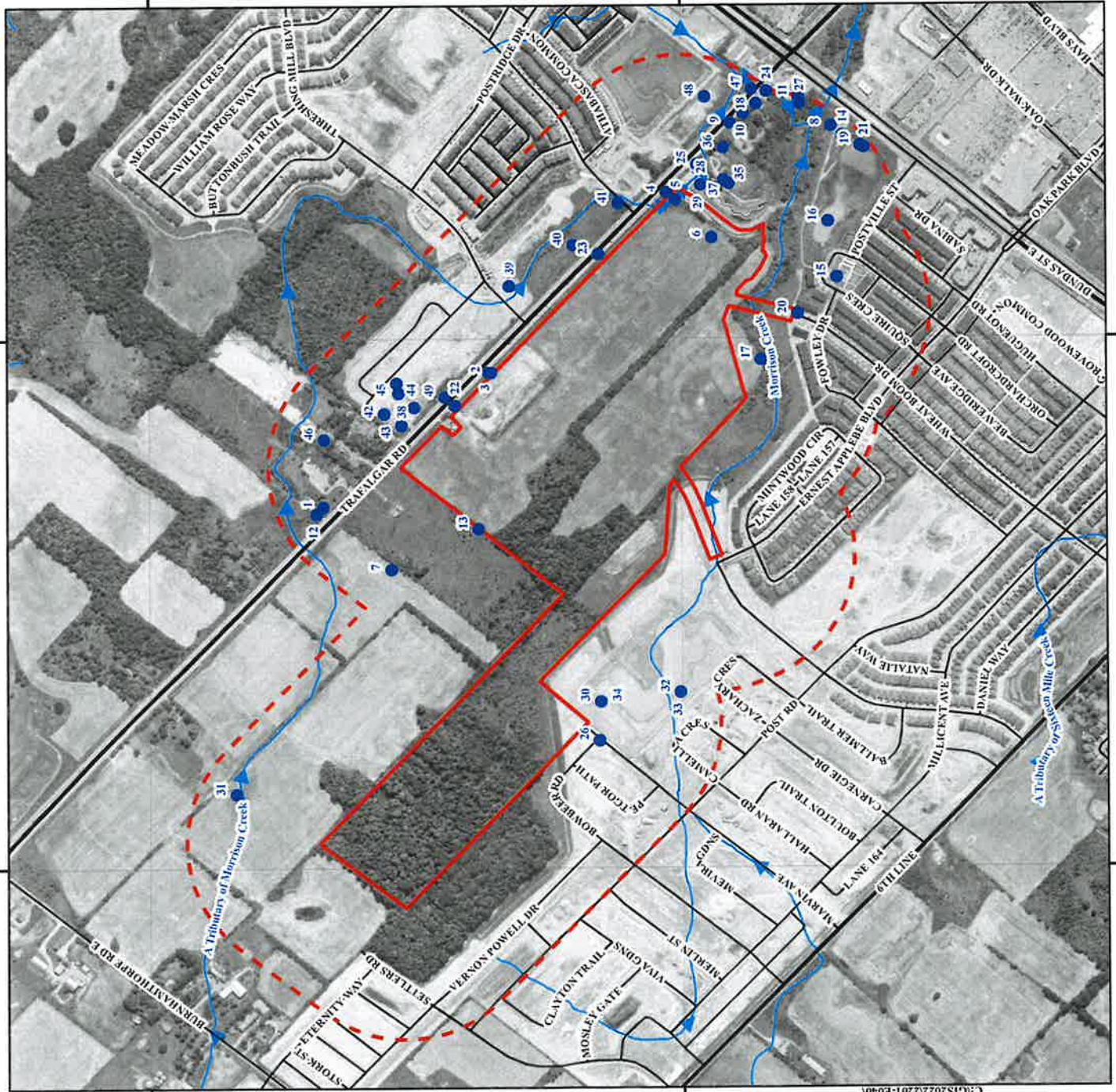
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APPENDIX 'D'

MECP WELLS

REFERENCE NO. 2201-E040



- Subject Site
- Phase One Study Area
- Water Well Location from MECP Well Help Desk
- Waterbody
- Major Road
- Local Road



<p>Title: MECP Well Records</p>
<p>Project: Proposed Residential Development Lots 13 and 14, Concession 1 Town of Oakville</p>
<p>Reference No. 2201-E040</p>
<p>Date: February 28, 2024</p>
<p>Scale: 0 50 100 200 300 400 500 Metres</p>
<p>Appendix F'</p>

C:\GIS\2022\2201-E040

GS_ID	WELL_ID	HOLE_ID	X	Y	ELEVATION	FINAL_STAT	USE_1	USE_2	DATE_COMP	WATER_FND	STATIC_LEV	DEPTH_FROM	DEPTH_TO	SCREEN_TOP	SCREEN_END	DEPTH	DP_BEDROCK	METHOD	CON	OTHER METH
1	2802105	10148659	602893.6001	4816675	160.712417	Water Supply	Domestic		1952-06-23	6.096074128	2.400000095	0	0	0	0	6.096999905	Boring			
2	2802107	10148661	602836.6002	4816358	176.619576	Water Supply	Public		1951-04-15	19.2026335	5.5	0	0	0	0	30.200000076	Cable Tool			
3	2802108	10148662	602836.5997	4816362.999	176.665374	Water Supply	Public		1951-05-12	19.8122092	4.599999905	0	0	0	0	7	Cable Tool			
4	2802109	10148663	603275.6004	4816007	169.764007	Abandoned-Quilty	Not Used		1952-07-24	28.95635211	9.800000191	0	0	0	0	10.399999962	Cable Tool			
5	2802110	10148664	603262.5986	4816009	168.905548	Abandoned-Supply	Not Used		1952-07-31	18.2862238	6.699999909	0	0	0	0	21.899999962	Cable Tool			
6	2802111	10148665	603190.5997	4815941	170.256663	Abandoned-Supply	Not Used		1952-09-29	16.76420385	7.599999905	0	0	0	0	5.169999969	Cable Tool			
7	2802112	10148666	6031564.6001	4816547	180.148895	Water Supply	Public		1953-10-12	12.19214826	2.400000095	0	0	0	0	15.199999981	Cable Tool			
8	2802114	10148668	603400.6004	4815716	168.166717	Water Supply	Livestock	Domestic	1961-09-29	8.53450378	5.5	0	0	0	0	8.5	Boring			
9	2802116	10148669	603406.6002	4815905	168.975875	Water Supply	Domestic		1966-12-13	3.657644477	2.099999905	0	0	0	0	5.198999969	Boring			
10	2802116	10148670	603424.5998	4815880	168.849212	Water Supply	Domestic		1966-08-26	4.26725189	3	0	0	0	0	5.198999969	Boring			
11	2806240	10152691	603453.2988	4815776	168.620239	Water Supply	Commercial		1984-07-24	12.49895196	4.900000095	0	0	0	0	13.100000038	Cable Tool			
12	2806965	10153248	602570.1998	4816688	175.754669	Water Supply	Domestic		1988-07-26	18.58302609	2.700000048	0	0	0	0	4.800000065	Cable Tool			
13	2806922	10155179	602943.5999	4816593	175.754669	Water Supply	Domestic		1988-07-26	8.53450378	5.198999909	0	0	0	0	19.79899824	Cable Tool			
14	7046325	23046325	603114.0004	4815705	169.920703	Abandoned-Other	Not Used		2007-06-22	0	0	0	0	0	0	6.699999909	Other Method			
15	7046328	23046328	603114.0004	4815705	169.920703	Abandoned-Other	Not Used		2007-06-22	0	0	0	0	0	0	3.400000095	Other Method			
16	7046328	23046328	603220.0002	4815705	169.920703	Abandoned-Other	Not Used		2011-11-02	15.24018532	0	0	0	0	0	15.199999981	Diamond			
17	7054129	23054129	602960.0001	4815949	169.940191	Observation Wells	Monitoring		2001-06-29	3.200439917	0	0	0	0	0	0	Digging			
18	71167064	1003548273	603443	4815856	168.468887	Abandoned-Other	Not Used		2013-09-03	0	0	0	0	0	0	0	0			
19	72118629	1004727092	603364	4815661	170.197418	Abandoned-Other	Not Used		2013-09-03	0	0	0	0	0	0	0	0			
20	72118629	1004727343	60346.0003	4815778.999	171.642059	Abandoned-Other	Not Used		2013-09-03	0	0	0	0	0	0	0	0			
21	72213399	1004806345	603350.0003	4815665	170.126113	Observation Wells	Monitoring		2014-06-25	0	0	0	0	0	0	0	0			
22	7224834	1005006712	602875.0002	4816427	177.836288	Observation Wells	Monitoring		2014-06-25	6.400000095	3.400000095	6.400000095	6.400000095	6.400000095	6.400000095	6.400000095	Boring			
23	7224935	1005006715	603160.0003	4816155	171.993911	Observation Wells	Monitoring		2014-06-25	0	0	0	0	0	0	0	0	Boring		
24	7224935	1005006718	603465.9999	4815936	167.336059	Observation Wells	Monitoring		2014-06-25	7.198999969	4.198999969	7.198999969	7.198999969	7.198999969	7.198999969	7.198999969	Boring			
25	7236678	1005144571	603328.9999	4815968.999	168.260894	Abandoned-Other	Not Used		2014-11-18	0	0	0	0	0	0	0	0			
26	7236696	1005289269	602240.9997	4816158	177.721038	Abandoned-Other	Not Used		2014-04-30	3.657644477	2.099999905	0	0	0	0	0	0			
27	7239540	1005320975	603443.8998	4815774	168.134658	Abandoned-Other	Not Used		2015-08-15	0	0	0	0	0	0	0	0			
28	7261314	1005929850	603290.0001	4815662	168.726303	Abandoned-Other	Not Used		2015-08-15	0	0	0	0	0	0	0	0			
29	7261315	1005929853	603290.0001	4815662	168.726303	Abandoned-Other	Not Used		2016-10-27	0	0	0	0	0	0	0	0			
30	7276172	1002839694	602314.3966	4816153	175.794986	Abandoned-Other	Not Used		2016-11-15	0	0	0	0	0	0	0	0			
31	7276986	1006303046	602140.9999	4816841	183.032495	Abandoned-Other	Not Used		2016-11-18	0	0	0	0	0	0	0	0			
32	7277410	1006310776	602331.9998	4816004	174.396077	Abandoned-Other	Not Used		2016-10-27	0	0	0	0	0	0	0	0			
33	7292859	1006744942	602331.9998	4816004	174.396077	Abandoned-Other	Not Used		2017-11-09	0	0	0	0	0	0	0	0			
34	7296167	1006744942	602314.9996	4816153	175.792861	Abandoned-Other	Not Used		2016-10-27	0	0	0	0	0	0	0	0			
35	7301813	1006915090	603299.0003	4815918	171.191314	Observation Wells	Monitoring		2018-06-29	0	0	0	0	0	0	0	0			
36	7301814	1006915093	603360.0001	4815919	169.849251	Observation Wells	Monitoring		2018-06-29	0	0	0	0	0	0	0	0			
37	7315086	1007205693	603292.9996	4815908	169.849251	Observation Wells	Monitoring		2018-06-29	3	3.700000048	0	0	0	0	0	0			
38	7323167	1007317342	602898.0003	4816533	0	Observation Wells	Monitoring		2018-09-28	0	0	0	0	0	0	0	0			
39	7323168	1007317345	603098.9997	4816322.899	0	Observation Wells	Monitoring		2018-09-28	0	0	0	0	0	0	0	0			
40	7345664	1007692700	603176.9998	4816102	0	Observation Wells	Monitoring		2019-06-14	0	0	0	0	0	0	0	0			
41	7345665	1007692705	603255.0003	4816118	0	Observation Wells	Monitoring		2019-06-14	3.046037064	7.52009266	0	0	0	0	0	0			
42	7375761	1008527468	602855.9997	4816560	0	Observation Wells	Monitoring		2020-12-03	0	0	0	0	0	0	0	0			
43	7375762	1008527471	602837	4816529.999	0	Observation Wells	Monitoring		2020-12-03	0	0	0	0	0	0	0	0			
44	7375763	1008527474	602870.9998	4816503	0	Observation Wells	Monitoring		2020-12-03	0	0	0	0	0	0	0	0			
45	7375764	1008527477	602816.9996	4816536	0	Observation Wells	Monitoring		2021-08-06	0	0	0	0	0	0	0	0			
46	7381974	1008648903	602810.9997	4816674	0	Observation Wells	Monitoring		2021-08-11	0	0	0	0	0	0	0	0			
47	7397107	1008766160	603470.9997	4815965	0	Observation Wells	Monitoring		2021-10-15	0	0	0	0	0	0	0	0			
48	7407287	1008907337	603456.0002	4815964	0	Observation Wells	Monitoring		2021-10-15	0	0	0	0	0	0	0	0			
49	7413066	1008994314	602840.9999	4818445.999	0	Observation Wells	Monitoring		2021-10-15	0	0	0	0	0	0	0	0			



Soil Engineers Ltd.

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APPENDIX 'E'

INTERVIEW QUESTIONNAIRE

REFERENCE NO. 2201-E040

PHASE I: ENVIRONMENTAL SITE ASSESSMENT
Landowner/Tenant/Occupant Questionnaire

Address: 271 Dundas Street East, Oakville

Person Interviewed: Lukas Reale

Relationship to Site: I am a manager with owning company

Interviewer: Madan Suwal

Method of Interview: Questionnaire form

Project No.: 2201-E040

Date of Interview: February 26, 2024

General Questions:

1. How long have you been involved with this address? - I have been involved since November of 2020

2. What are the main operations that occur on this site? - Vacant land and farming

3. What activities were previously performed on this site? - Vacant land and farming

To the best of your knowledge, have any of the following occurred, or is presently occurring on the property:

4. Foul odours or stained surfaces (such as soil, concrete, asphalt, surrounding stormwater stains, etc)?
No

5. Spills, leaks or hazardous materials activities?
No

6. Above ground or underground storage tanks (such as those used for for utility, fuel or chemical)?
No

7. Specific chemicals located or stored on site in drums, tanks, barrels or sacks?
No

8. Previous environmental site assessments completed? If yes what were the results? Was there an environmental cleanup?

A phase 1 was completed February 25, 2022 (reference No. 2201-E040). No cleanup was required. No further environmental investigation was recommended following the completed phase 1.

9. Are you aware of any known historical soil and/or groundwater contamination? If yes, please provide detail and supportive documents, if any.

No

PHASE I: ENVIRONMENTAL SITE ASSESSMENT
Landowner/Tenant/Occupant Questionnaire

10. If the property is served by a well or septic system and heating system? Please specify the location and age. - None

11. Dumping of hazardous substances or petroleum products, unidentified waste materials, automotive parts, household garbage, mixed municipal refuse, demolition debris, fill material from an unknown site? - None

12. If the neighbouring properties are or have been previously used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, junkyard or landfill, waste treatment, storage, disposal, processing or recycling facility or photo developing laboratory, etc.?

None

13. Do you know of others who may have knowledge of the property?

Other staff at Great Gulf who work on the file.

Additional Comments and Explanations

None

The person completing this report affirms that the above statements and facts are true and correct, based on his/her current knowledge as of the date completed.

Lukas Reale

Signature of person completing questionnaire

2024 - 02 - 26

Date Completed (YY-MM-DD)



Soil Engineers Ltd.

CONSULTING ENGINEERS

GEOTECHNICAL • ENVIRONMENTAL • HYDROGEOLOGICAL • BUILDING SCIENCE

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APPENDIX 'F'

SITE PHOTOGRAPHS


REFERENCE NO. 2201-E040



General view of southwestern portion of subject site (looking northeast).



General view of southwestern portion of subject site (looking north).


 Soil Engineers Ltd.	Title	Project	Reference No.	Date	Appendix 'F'
	Site Photographs	Proposed Residential Development Lots 13 and 14, Concession 1, Town of Oakville	2201-E040	February 28, 2024	1 of 10



General view of western portion of subject site (looking north).



General view of eastern portion of subject site (looking southeast).


 Soil Engineers Ltd.	Title	Project	Reference No.	Date	Appendix 'F'
	Site Photographs	Proposed Residential Development Lots 13 and 14, Concession 1, Town of Oakville	2201-E040	February 28, 2024	2 of 10



General view of stockpile on eastern portion of subject site (looking northeast).



Closeup view of stockpile on eastern portion of subject site.


 Soil Engineers Ltd.	Title	Project	Reference No.	Date	Appendix 'F'
	Site Photographs	Proposed Residential Development Lots 13 and 14, Concession 1, Town of Oakville	2201-E040	February 28, 2024	3 of 10



Close up view of monitoring well located on eastern portion of subject site.



General view of electrical equipment adjacent to subject site to the North.

	Title	Project	Reference No.	Date	Appendix 'F'
 Soil Engineers Ltd.	Site Photographs	Proposed Residential Development Lots 13 and 14, Concession 1, Town of Oakville	2201-E040	February 28, 2024	4 of 10



General view of Earnest Appelbe Blvd (looking east)



General view of Threshing Mill Blvd (looking south)


Soil Engineers Ltd.	Title	Project	Reference No.	Date	Appendix 'F'
	Site Photographs	Proposed Residential Development Lots 13 and 14, Concession 1, Town of Oakville	2201-E040	February 28, 2024	5 of 10



General view of Trafalgar Road (looking north)



General view of Trafalgar Road (looking south)


 Soil Engineers Ltd.	Title	Project	Reference No.	Date	Appendix 'F'
	Site Photographs	Proposed Residential Development Lots 13 and 14, Concession 1, Town of Oakville	2201-E040	February 28, 2024	6 of 10



General view of Marvin Avenue (looking south)



General view of neighboring property to the west (looking northwest)

	Title	Project	Reference No.	Date	Appendix 'F'
 Soil Engineers Ltd.	Site Photographs	Proposed Residential Development Lots 13 and 14, Concession 1, Town of Oakville	2201-E040	February 28, 2024	7 of 10



General view of neighboring property to the north of subject site (looking northeast)



General view of neighboring property to the east of the subject site (looking southeast)


Soil Engineers Ltd.	Title	Project	Reference No.	Date	Appendix 'F'
	Site Photographs	Proposed Residential Development Lots 13 and 14, Concession 1, Town of Oakville	2201-E040	February 28, 2024	8 of 10



General view of neighboring property to the south (looking east)



General view of neighboring property to the south (looking west)


 Soil Engineers Ltd.	Title	Project	Reference No.	Date	Appendix 'F'
	Site Photographs	Proposed Residential Development Lots 13 and 14, Concession 1, Town of Oakville	2201-E040	February 28, 2024	9 of 10



General view of neighboring property to the north (looking north).



General view of neighboring property to the northwest (looking northwest).

	Title	Project	Reference No.	Date	Appendix 'F'
 Soil Engineers Ltd.	Site Photographs	Proposed Residential Development Lots 13 and 14, Concession 1, Town of Oakville	2201-E040	February 28, 2024	10 of 10