

**THE CORPORATION OF THE TOWN OF**

**OAKVILLE**

**BY-LAW NUMBER 2024-XXX**

A by-law to amend the North Oakville Zoning By-law 2009-189, as amended, to permit the use of lands described as Part of Lot 19 & 20, Concession 1, North of Dundas Street (Sherborne Lodge Developments Limited)

**COUNCIL ENACTS AS FOLLOWS:**

1. Map 12(5) of By-law 2009-189, as amended, is amended by rezoning the lands as depicted on Schedule 'A' to this By-law.
2. Section 8, Special Provisions, of By-law 2009-189, as amended, is further amended by adding new Sections 8. \*, 8. \*\* and 8. \*\*\* as follows:

<b>8.*</b>	<b>Sherborne Lodge Developments Limited</b>	Parent Zone: S, GU
Map 12(5)	(Part of Lot 19 & 20, Concession 1, NDS)	(2024-XXX)
<b>8.*.1 Zone Provisions for all Lands</b>		
The following regulations apply to all lands identified as subject to this Special Provision:		
a)	Notwithstanding the maximum width in Table 4.21(g), the maximum width of Bay, Box Out and Bow Windows, with or without foundations which may be a maximum of three <i>storeys</i> in <i>height</i> and which may include a door.	4.0 m
b)	For corner <i>lots</i> , a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 40% of the <i>porch</i> . However, steps and other obstructions may encroach a maximum of 0.3 metres into the required depth.	
c)	For interior <i>lots</i> , a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 70% of the <i>porch</i> . Steps and other obstructions may encroach a maximum of 0.3 metres into the required depth.	
d)	<i>Porches</i> shall have walls that are open and unenclosed for at least 40% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the <i>building</i> or insect screening. The total area of the vertical plane shall be measured from the top of the <i>porch</i> slab to the underside of the	

	porch ceiling.	
<b>8.*.2 Additional Zone Provisions for S and GU Zoned Lands</b>		
a)	The following regulations shall apply to <i>lots</i> with a <i>lot depth</i> of 28.0 metres or less with a <i>single detached dwelling street access attached private garage building type</i> :	
i)	Minimum <i>rear yard setback</i>	6.0 m
ii)	<i>Floor area</i> beyond the minimum <i>rear yard setback</i> of 6.0 m is prohibited.	
b)	For any through lot abutting Neyagawa Blvd. or a daylight triangle adjacent to Neyagawa Blvd., the front lot line shall be the lot line abutting Neyagawa Blvd. or a daylight triangle adjacent to Neyagawa Blvd., with access and parking from the rear yard.	
c)	For the purpose of determining lot frontage, the lot located in the southeast corner of the intersection of Neyagawa Blvd. and Street A (identified as Lot 1 on Draft Plan of Subdivision 9544-11-88dp) shall have frontage along Street A.	
d)	Notwithstanding regulation 4.10(ii), the minimum <i>landscape area</i> for a <i>townhouse back-to-back</i> block	8 percent
e)	Notwithstanding regulation 4.25.2.1, the minimum landscape area requirements may be satisfied if a minimum of one location within the block has a landscape area dimension of at least 3.0 metres by 1.5 metres.	

<b>8.**</b>	<b>Sherborne Lodge Developments Limited</b> (Part of Lot 19 & 20, Concession 1, NDS)	Parent Zone: NUC-1
Map 12(5)		(2024-XXX)
<b>8.**.1 Zone Regulations for All Lands</b>		
The following regulations apply to all lands identified as subject to this Special Provision: [apartment block]		
a)	Residential <i>dwelling units</i> are permitted at-grade, including facing a <i>public street</i> .	

b)	For the purpose of Exception 8.**, the <i>front yard</i> is the <i>yard</i> adjacent to Burnhamthorpe Road West.	
c)	For the purpose of Exception 8.**, the <i>rear yard</i> is the <i>yard</i> adjacent to Street C.	
d)	Maximum <i>Floor Space Index (FSI)</i>	2.6
e)	Minimum <i>rear yard setback</i>	3.0 m

8.***	<b>Sherborne Lodge Developments Limited</b> (Part of Lot 19 & 20, Concession 1, NDS)		Parent Zone: NUC-2
Map 12(5)			(2024-XXX)
<b>8.***.1 Zone Regulations for All Lands</b>			
The following regulations apply to all lands identified as subject to this Special Provision: commercial block			
a)	Residential <i>dwelling units</i> are permitted at-grade, including facing a <i>public street</i> .		
b)	For the purpose of Exception 8.***, the <i>front yard</i> is the <i>yard</i> adjacent to Burnhamthorpe Road West.		
c)	For the purpose of Exception 8.***, the <i>rear yard</i> is the <i>yard</i> adjacent to Street E.		
d)	Minimum <i>rear yard setback</i>	3.0 m	
e)	Parking Requirements for Non-Residential Uses:  <i>Office, Medical</i>	1 <i>parking space</i> per 30 square metres of <i>leasable floor area</i> minimum.	
f)	Additional <i>parking spaces</i> shall not be required for office uses located on the <i>second storey</i> .		

3. This By-law comes into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

PASSED this \_\_\_ day of \_\_\_\_\_, 2024

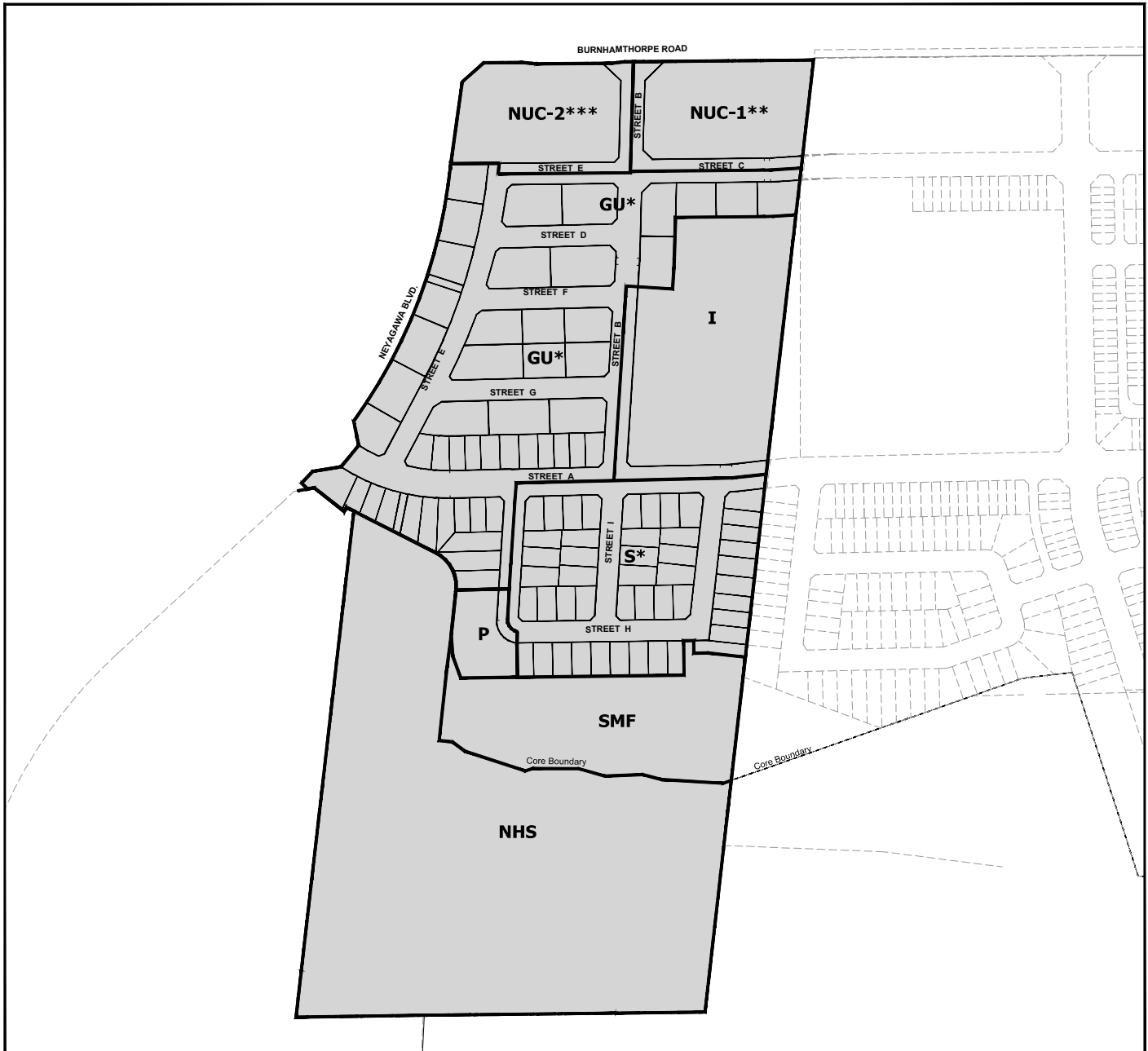
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MAYOR


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CLERK

Schedule "A" To 2024-\*\*\*



**AMENDMENT TO BY-LAW 2024-xxx**

-  Re-zoned From : Existing Development (ED) to :
- Sub-Urban (S\*)
- General Urban (GU\*)
- Neyagawa Urban Core (NUC-1\*\*)
- Neyagawa Urban Core (NUC-2\*\*\*)
- Natural Heritage System (NHS)
- Stormwater Management Facility (SMF)
- Institutional (I)
- Park (P)

Excerpt from Map \_\_\_\_



Not to Scale