



# 3056 NEYAGAWA BOULEVARD

ISSUED FOR OPA & ZONING BY-LAW APPROVAL  
06 DECEMBER 2024

03	ISSUED FOR OPA & ZBA	06 DEC 2024
02	ISSUED FOR URBAN DESIGN BRIEF	31 OCT 2024
01	ISSUED FOR PRE-CONSULTATION MEETING #02	05 SEP 2024
NO.	REVISIONS	DATE

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB.

**COREARCHITECTS**  
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3056 NEYAGAWA BLVD  
OAKVILLE, ON

neatt 



Drawn SR	Scale
Checked CW	Date MARCH 2024

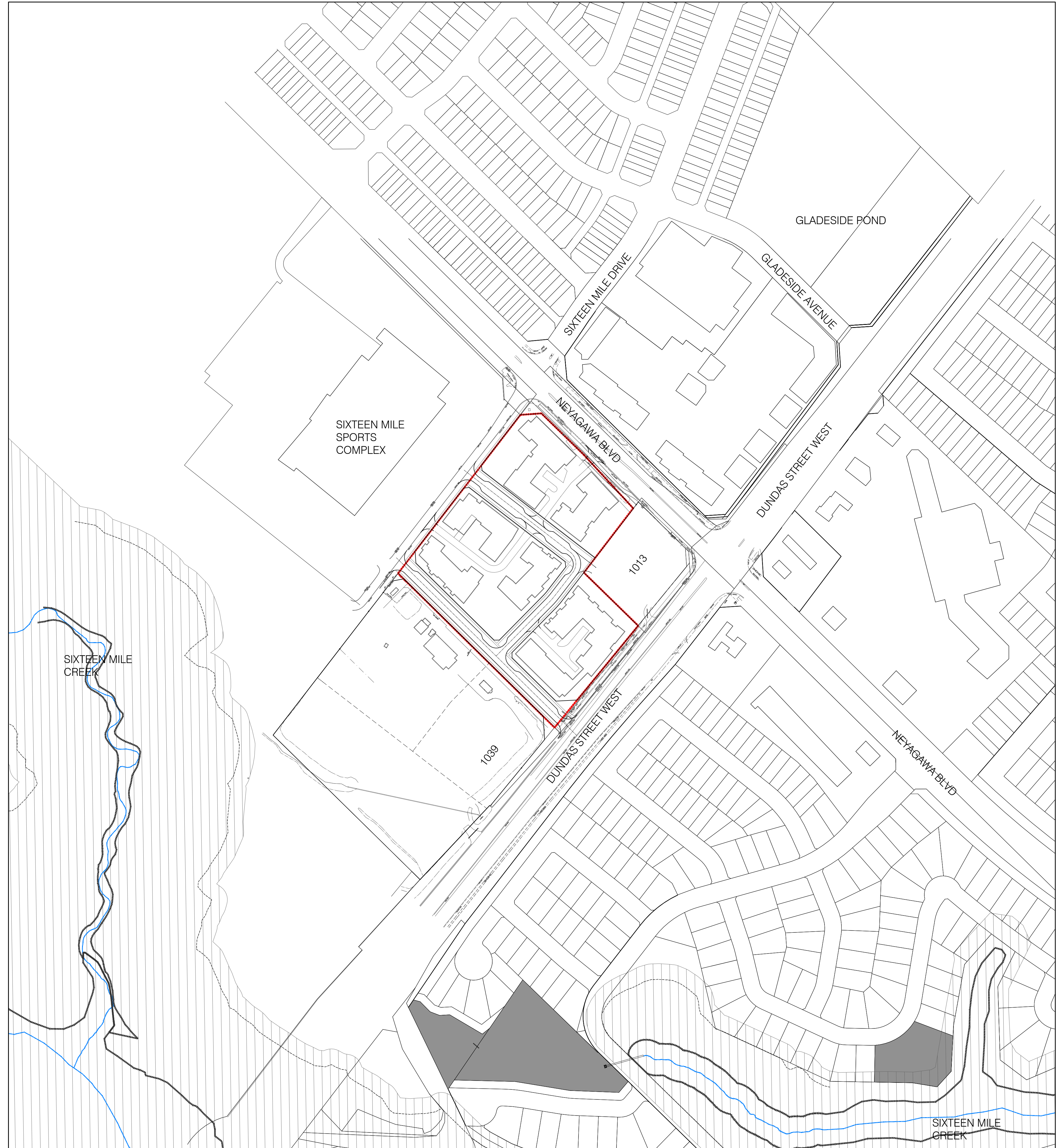
Title  
COVER PAGE

Project No. 23-109	Drawing No. <b>A000</b>
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Title  
**CONTEXT  
 DRAWING LIST**



TOWN OF OAKVILLE ZONING BY-LAW 2009-189			
ENTIRE SITE			
SITE AREA	TOTAL	37,461.0 SQ.M	
	CONVEYED LANDS	8,789.6 SQ.M	
	NEYAGAWA ROW	21.8 SQ.M	
	STREET A	4,127.5 SQ.M	
	STREET B	2,880.0 SQ.M	
	STREET C	1,760.3 SQ.M	
	NET	28,671.4 SQ.M	
	POPS		
SITE INFORMATION	SITE AREA PROVIDED BY WAHBA SURVEYING		
PROGRAM	MULTI-TOWER RESIDENTIAL LED MIXED USE DEVELOPMENT		
FLOOR AREA	158,690.9 SQ.M		
FLOOR SPACE INDEX	5.53 FSI		
NUMBER OF UNITS	2,278 UNITS		
RETAIL AREA	1,550.6 SQ.M		
PARKING	REQUIRED	PROVIDED	
VEHICULAR PARKING	TOTAL	2278 UNITS x1.2 = 2733.6 STALLS	2,798 Stalls
	RESIDENTIAL	2278 UNITS x1.0 = 2278 STALLS	2,342 Stalls
	VISITOR	2278 UNITS x0.2 = 455.6 STALLS	456 Stalls
BICYCLE PARKING	RESIDENTIAL	0	

TOWN OF OAKVILLE ZONING BY-LAW 2009-189				
BLOCK 01				
SITE AREA	TOTAL	9,701.2 SQ.M		
	POPS			
	BUILDING 1	5,891.7 SQ.M		
	BUILDING 2	3,809.5 SQ.M		
PROGRAM	MULTI-TOWER RESIDENTIAL LED MIXED USE DEVELOPMENT			
MAXIMUM BUILDING HEIGHT	BUILDING 1	26 Storeys		
	BUILDING 2	18 Storeys		
LOADING	9.7m x 3.2m			
FLOOR AREA	TOTAL	46,383.1 SQ.M		
	BUILDING 1	28,514.6 SQ.M		
	BUILDING 2	17,868.5 SQ.M		
FLOOR SPACE INDEX	TOTAL	4.78 FSI		
	BUILDING 1	4.84 FSI		
	BUILDING 2	4.69 FSI		
NUMBER OF UNITS	TOTAL	653 UNITS		
	BUILDING 1	395 UNITS		
	BUILDING 2	258 UNITS		
RETAIL AREA	BUILDING 1	1,079.0 SQ.M		
AMENITY AREA - INDOOR	BUILDING 1	657 SQ.M / 395 UNITS = 1.66 SQ.M PER UNIT		
	BUILDING 2	178 SQ.M / 258 UNITS = 0.69 SQ.M PER UNIT		
AMENITY AREA - OUTDOOR	BUILDING 1	7071.89		
PARKING	REQUIRED	PROVIDED		
	VEHICULAR PARKING	BUILDING 1 TOTAL	395 UNITS x1.2 = 474 STALLS	483 Stalls
BARRIER FREE PARKING	BUILDING 1	BUILDING 1 RESIDENTIAL	395 UNITS x1.0 = 395 STALLS	405 Stalls
		BUILDING 1 VISITOR	395 UNITS x0.2 = 79 STALLS	78 Stalls
		BUILDING 2 TOTAL	258 UNITS x1.2 = 309.6 STALLS	306 Stalls
		BUILDING 2 RESIDENTIAL	258 UNITS x1.0 = 258 STALLS	254 Stalls
		BUILDING 2 VISITOR	258 UNITS x0.2 = 51.6 STALLS	52 Stalls
BICYCLE PARKING	BUILDING 1	BUILDING 1	9 (per 2009-189 table 5.2)	12 Stalls
		BUILDING 2	8 (per 2009-189 table 5.2)	8 Stalls

TOWN OF OAKVILLE ZONING BY-LAW 2009-189				
BLOCK 02				
SITE AREA	TOTAL	11,301.1 SQ.M		
	POPS			
	BUILDING 3	3,386.2 SQ.M		
	BUILDING 4	3,098.5 SQ.M		
	BUILDING 5	4,816.4 SQ.M		
PROGRAM	MULTI-TOWER RESIDENTIAL LED MIXED USE DEVELOPMENT			
MAXIMUM BUILDING HEIGHT	BUILDING 3	18 Storeys		
	BUILDING 4	24 Storeys		
	BUILDING 5	28 Storeys		
LOADING	9.7m x 3.2m			
FLOOR AREA	TOTAL	69,216.0 SQ.M		
	BUILDING 3	19,884.2 SQ.M		
	BUILDING 4	23,286.1 SQ.M		
	BUILDING 5	26,045.7 SQ.M		
FLOOR SPACE INDEX	TOTAL	6.12 FSI		
	BUILDING 3	5.87 FSI		
	BUILDING 4	7.52 FSI		
	BUILDING 5	5.41 FSI		
NUMBER OF UNITS	TOTAL	996 UNITS		
	BUILDING 3	266 UNITS		
	BUILDING 4	341 UNITS		
	BUILDING 5	389 UNITS		
	RETAIL AREA	BUILDING 3	471.6 SQ.M	
AMENITY AREA - INDOOR	BUILDING 3	333.2 SQ.M / 266 UNITS = 1.25 SQ.M PER UNIT		
	BUILDING 4	262 SQ.M / 341 UNITS = 0.77 SQ.M PER UNIT		
	BUILDING 5	303.2 SQ.M / 389 UNITS = 0.78 SQ.M PER UNIT		
AMENITY AREA - OUTDOOR	BUILDING 3			
PARKING	REQUIRED	PROVIDED		
	VEHICULAR PARKING	BUILDING 3 TOTAL	266 UNITS x1.2 = 319.2 STALLS	311 Stalls
BARRIER FREE PARKING	BUILDING 3	BUILDING 3 RESIDENTIAL	266 UNITS x1.0 = 266 STALLS	258 Stalls
		BUILDING 3 VISITOR	266 UNITS x0.2 = 53.2 STALLS	52 Stalls
		BUILDING 4 TOTAL	341 UNITS x1.2 = 409.2 STALLS	412 Stalls
		BUILDING 4 RESIDENTIAL	341 UNITS x1.0 = 341 STALLS	343 Stalls
		BUILDING 4 VISITOR	341 UNITS x0.2 = 68.2 STALLS	70 Stalls
		BUILDING 5 TOTAL	389 UNITS x1.2 = 466.8 STALLS	494 Stalls
		BUILDING 5 RESIDENTIAL	389 UNITS x1.0 = 389 STALLS	416 Stalls
		BUILDING 5 VISITOR	389 UNITS x0.2 = 77.8 STALLS	78 Stalls
		BUILDING 3	7 (per 2009-189 table 5.2)	8 Stalls
		BUILDING 4	8 (per 2009-189 table 5.2)	10 Stalls
BUILDING 5	10 (per 2009-189 table 5.2)	16 Stalls		
BICYCLE PARKING	BUILDING 3 RESIDENTIAL	BUILDING 3 RESIDENTIAL		
		BUILDING 4 RESIDENTIAL		
		BUILDING 5 RESIDENTIAL		

TOWN OF OAKVILLE ZONING BY-LAW 2009-189				
BLOCK 03				
SITE AREA	TOTAL	7,669.5 SQ.M		
	POPS			
	BUILDING 6	2,627.3 SQ.M		
	BUILDING 7	5,042.2 SQ.M		
PROGRAM	MULTI-TOWER RESIDENTIAL LED MIXED USE DEVELOPMENT			
MAXIMUM BUILDING HEIGHT	BUILDING 6	15 Storeys		
	BUILDING 7	25 Storeys		
LOADING	9.7m x 3.2m			
FLOOR AREA	TOTAL	43,091.8 SQ.M		
	BUILDING 6	14,402.5 SQ.M		
	BUILDING 7	28,689.3 SQ.M		
FLOOR SPACE INDEX	TOTAL	5.62 FSI		
	BUILDING 6	5.48 FSI		
	BUILDING 7	5.69 FSI		
NUMBER OF UNITS	TOTAL	629 UNITS		
	BUILDING 6	216 UNITS		
	BUILDING 7	413 UNITS		
RETAIL AREA	.0 SQ.M			
AMENITY AREA - INDOOR	BUILDING 6	365.3 SQ.M / 216 UNITS = 1.69 SQ.M PER UNIT		
	BUILDING 7	328 SQ.M / 413 UNITS = 0.79 SQ.M PER UNIT		
AMENITY AREA - OUTDOOR	BUILDING 6	0.00		
PARKING	REQUIRED	PROVIDED		
	VEHICULAR PARKING	BUILDING 6 TOTAL	216 UNITS x1.2 = 259.2 STALLS	272 Stalls
BARRIER FREE PARKING	BUILDING 6	BUILDING 6 RESIDENTIAL	216 UNITS x1.0 = 216 STALLS	229 Stalls
		BUILDING 6 VISITOR	216 UNITS x0.2 = 43.2 STALLS	43 Stalls
		BUILDING 7 TOTAL	413 UNITS x1.2 = 495.6 STALLS	520 Stalls
		BUILDING 7 RESIDENTIAL	413 UNITS x1.0 = 413 STALLS	437 Stalls
		BUILDING 7 VISITOR	413 UNITS x0.2 = 82.6 STALLS	83 Stalls
		BUILDING 6 RESIDENTIAL	0	
		BUILDING 7 RESIDENTIAL	0	
BICYCLE PARKING	BUILDING 6 RESIDENTIAL	0		
BICYCLE PARKING	BUILDING 7 RESIDENTIAL	0		

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Drawn SR Scale 1:400  
Checked CW Date MARCH 2024  
Title ZONING STATISTICS



LEVEL	BLOCK 01 - BUILDING 01																			
	GCA		FLOOR AREA PER BY-LAW 2009-189						GSA		SUITE				AMENITY					
	TOTAL		RESIDENT		RETAIL		TOTAL		RESIDENT		RETAIL		Total	1 BED	1 BED + DEN	2 BED	3 BED	INTERIOR	EXTERIOR	
	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)						(SQ.M)	(SQ.M)	
P3	5660	60922																		
P2	5660	60922																		
P1	5660	60922																		
1	2425	26098	1346	14484	1079	11614	2425	26098			909.1	9785.5						657	7071.9	
2	2335	25134	2398	25812			2398	25812	1921	20677			33	7	14	12				
3	2335	25134	2398	25812			2398	25812	1897	20419			33	10	12	11				
4	2335	25134	2398	25812			2398	25812	1897	20419			33	10	12	11				
5	2119	22807	2132	22943			2132	22943	1698	18281			30	9	11	10				
6	2119	22807	2119	22807			2119	22807	1698	18281			30	9	11	10				
7	750	8073	750	8073			750	8073	640	6886			12	6	2	4				
8	750	8073	750	8073			750	8073	640	6886			12	6	2	4				
9	750	8073	750	8073			750	8073	640	6886			12	6	2	4				
10	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
11	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
12	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
13	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
14	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
15	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
16	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
17	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
18	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
19	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
20	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
21	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
22	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
23	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
24	750	8073	750	8073			750	8073	654	7040			12	6	2	4				
25	674	7252	680	7322			680	7322	582	6265			10	4		6				
26	674	7252	680	7322			680	7322	582	6265			10	4		6				
<b>Total</b>	<b>45493.98</b>	<b>489692.7</b>	<b>27650.3</b>	<b>297625.1</b>	<b>1079</b>	<b>11614.25</b>	<b>28729.3</b>	<b>309239.3</b>	<b>22004.9</b>	<b>236858.8</b>	<b>909.1</b>	<b>9785.471</b>	<b>395</b>	<b>161</b>	<b>96</b>	<b>138</b>		<b>657</b>	<b>7072</b>	
<b>Below Grade</b>	<b>16979</b>	<b>182764.6</b>																		
<b>Above Grade</b>	<b>28515</b>	<b>243987.5</b>																		

1 BUILDING 1 STATISTICS  
A103

LEVEL	BLOCK 02 - BUILDING 3																			
	GCA		FLOOR AREA PER BY-LAW 2009-189						GSA		SUITE				AMENITY					
	TOTAL		RESIDENT		RETAIL		TOTAL		RESIDENT		RETAIL		Total	1 BED	1 BED + DEN	2 BED	3 BED	INTERIOR	EXTERIOR	
	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)						(SQ.M)	(SQ.M)	
P4	3130	33691																		
P3	3130	33691																		
P2	3130	33691																		
P1	3130	33691																		
1	1963	21130	1491	16053	472	5076	1963	21130	415	4463	471.6	5076.3	7	1	3	3		333	3586.5	
2	1907	20527	1907	20527			1907	20527	1616	17390			27	5	13	9				
3	1907	20527	1907	20527			1907	20527	1616	17390			27	5	13	9				
4	1907	20527	1907	20527			1907	20527	1616	17390			27	5	13	9				
5	1600	17223	1600	17223			1600	17223	1332	14332			23	10	2	11				
6	1600	17223	1600	17223			1600	17223	1332	14332			23	10	2	11				
7	750	8073	750	8073			750	8073	652	7018			11	3	4	4				
8	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
9	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
10	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
11	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
12	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
13	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
14	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
15	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
16	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
17	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
18	750	8073	750	8073			750	8073	652	7021			11	3	4	4				
<b>Total</b>	<b>32404.2</b>	<b>348795.6</b>	<b>19412.6</b>	<b>208955.3</b>	<b>471.6</b>	<b>5076.255</b>	<b>19884.2</b>	<b>214031.5</b>	<b>15751.7</b>	<b>169549.7</b>	<b>471.6</b>	<b>5076.255</b>	<b>266</b>	<b>72</b>	<b>94</b>	<b>100</b>		<b>333</b>	<b>3587</b>	
<b>Below Grade</b>	<b>12520</b>	<b>134764</b>																		
<b>Above Grade</b>	<b>19884</b>	<b>214031.5</b>																		

3 BUILDING 3 STATISTICS  
A103

m	BLOCK 01 - BUILDING 02																			
	GCA		FLOOR AREA PER BY-LAW 2009-189						GSA		SUITE				AMENITY					
	TOTAL		RESIDENT		RETAIL		TOTAL		RESIDENT		RETAIL		Total	1 BED	1 BED + DEN	2 BED	3 BED	INTERIOR	EXTERIOR	
	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)						(SQ.M)	(SQ.M)	
P3	3634	39112																		
P2	3634	39112																		
P1	3634	39112																		
1	1745	18778	1745	18778			1745	18778	787	8471			13		8	5		178	1916.0	
2	1671	17986	1671	17986			1671	17986	1396	15021			24	2	16	6				
3	1671	17986	1671	17986			1671	17986	1396	15021			24	2	16	6				
4	1671	17986	1671	17986			1671	17986	1396	15021			24	2	16	6				
5	1361	14650	1361	14650			1361	14650	1085	11679			17	1	7	9				
6	750	8073	750	8073			750	8073	650	6997			12	4	4	4				
7	750	8073	750	8073			750	8073	650	6997			12	4	4	4				
8	750	8073	750	8073			750	8073	650	6997			12	4	4	4				
9																				



LEVEL	BLOCK 02 - BUILDING 05															
	GCA		FLOOR AREA PER BY-LAW 2009-189						GSA		SUITE				AMENITY	
	TOTAL		RESIDENT	RETAIL	TOTAL	RESIDENT	RETAIL	Total	1 BED	1 BED + DEN	2 BED	3 BED	INTERIOR	EXTERIOR		
	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)		
P4	4623	49760														
P3	4623	49760														
P2	4623	49760														
P1	4623	49760														
1	1610	17329	1619	17427			1619	17427	603	6492			303	3263.6		
2	1592	17136	1592	17136			1592	17136	1323	14241						
3	1592	17136	1592	17136			1592	17136	1323	14241						
4	1592	17136	1592	17136			1592	17136	1323	14241						
5	1547	16647	1547	16647			1547	16647	1277	13750						
6	1525	16415	1525	16415			1525	16415	1256	13514						
7	1240	13348	1240	13348			1240	13348	1094	11770						
8	1254	13499	1254	13499			1254	13499	1094	11770						
9	750	8073	750	8073			750	8073	648	6975						
10	750	8073	750	8073			750	8073	648	6975						
11	750	8073	750	8073			750	8073	648	6975						
12	750	8073	750	8073			750	8073	648	6975						
13	750	8073	750	8073			750	8073	648	6975						
14	750	8073	750	8073			750	8073	648	6975						
15	750	8073	750	8073			750	8073	648	6975						
16	750	8073	750	8073			750	8073	648	6975						
17	750	8073	750	8073			750	8073	648	6975						
18	750	8073	750	8073			750	8073	648	6975						
19	750	8073	750	8073			750	8073	648	6975						
20	750	8073	750	8073			750	8073	648	6975						
21	750	8073	750	8073			750	8073	648	6975						
22	750	8073	750	8073			750	8073	648	6975						
23	750	8073	750	8073			750	8073	648	6975						
24	750	8073	750	8073			750	8073	648	6975						
25	750	8073	750	8073			750	8073	648	6975						
26	672	7233	672	7233			672	7233	573	6164						
27	672	7233	672	7233			672	7233	573	6164						
28	672	7233	672	7233			672	7233	573	6164						
<b>Total</b>	<b>45209.29</b>	<b>486628.3</b>	<b>26726.8</b>	<b>287684.6</b>			<b>26726.8</b>	<b>287684.6</b>	<b>22026.1</b>	<b>237086.7</b>			<b>303</b>	<b>3264</b>		
<b>Below Grade</b>	<b>18492</b>	<b>199041.7</b>											<b>Provided</b>	<b>35%</b>		
<b>Above Grade</b>	<b>19452</b>	<b>209376</b>											<b>Provided (Group)</b>	<b>62%</b>		

1 BUILDING 5 STATISTICS  
A104

LEVEL	BLOCK 03 - BUILDING 07															
	GCA		GFA						GSA		SUITE				AMENITY	
	TOTAL		RESIDENT	RETAIL	TOTAL	RESIDENT	RETAIL	Total	1 BED	1 BED + DEN	2 BED	3 BED	INTERIOR	EXTERIOR		
	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)		
P4	3662	39417														
P3	3662	39417														
P2	3662	39417														
P1	3662	39417														
1	2555	27497	2555	27497			2555	27497	1071	11532			328	3530.6		
2	2414	25981	2414	25981			2414	25981	1967	21168						
3	2414	25981	2414	25981			2414	25981	1967	21168						
4	2414	25981	2414	25981			2414	25981	1967	21168						
5	2414	25981	2414	25981			2414	25981	1967	21168						
6	2414	25981	2414	25981			2414	25981	1967	21168						
7	750	8073	750	8073			750	8073	634	6820						
8	750	8073	750	8073			750	8073	634	6820						
9	750	8073	750	8073			750	8073	634	6820						
10	750	8073	750	8073			750	8073	634	6820						
11	750	8073	750	8073			750	8073	634	6820						
12	750	8073	750	8073			750	8073	634	6820						
13	750	8073	750	8073			750	8073	634	6820						
14	750	8073	750	8073			750	8073	634	6820						
15	750	8073	750	8073			750	8073	634	6820						
16	750	8073	750	8073			750	8073	634	6820						
17	750	8073	750	8073			750	8073	634	6820						
18	750	8073	750	8073			750	8073	634	6820						
19	750	8073	750	8073			750	8073	634	6820						
20	750	8073	750	8073			750	8073	634	6820						
21	750	8073	750	8073			750	8073	634	6820						
22	750	8073	750	8073			750	8073	634	6820						
23	750	8073	750	8073			750	8073	634	6820						
24	658	7083	658	7083			658	7083	549	5906						
25	658	7083	658	7083			658	7083	549	5906						
<b>Total</b>	<b>43337.34</b>	<b>466478.8</b>	<b>28689.34</b>	<b>308809.2</b>			<b>28689.34</b>	<b>308809.2</b>	<b>22773</b>	<b>245126.3</b>			<b>328</b>	<b>3531</b>		
<b>Below Grade</b>	<b>14648</b>	<b>157669.6</b>											<b>Provided</b>	<b>37%</b>		
<b>Above Grade</b>	<b>23623</b>	<b>254279.3</b>											<b>Provided (Group)</b>	<b>67%</b>		

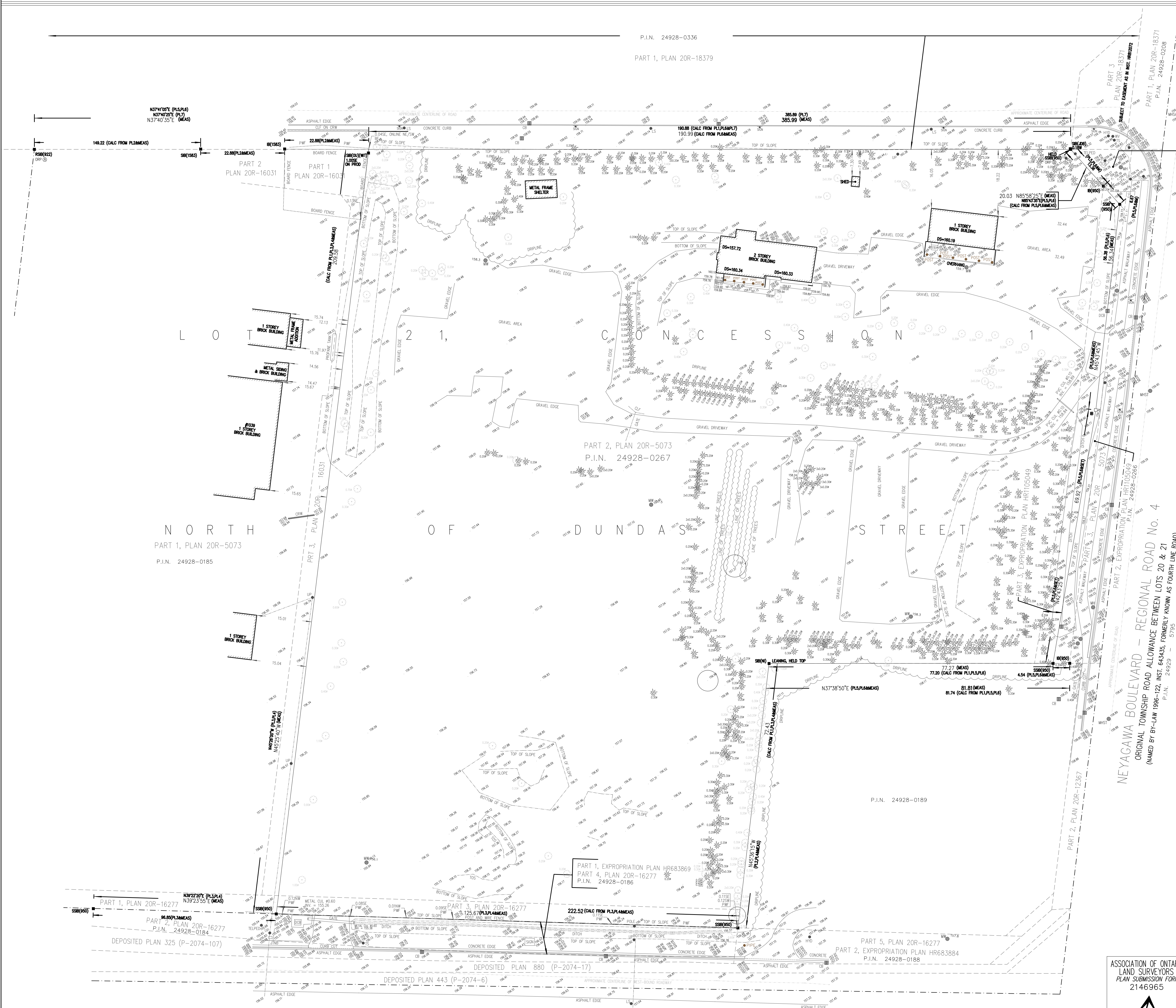
3 BUILDING 7 STATISTICS  
A104

LEVEL	BLOCK 03 - BUILDING 06															
	GCA		FLOOR AREA PER BY-LAW 2009-189						GSA		SUITE				AMENITY	
	TOTAL		RESIDENT	RETAIL	TOTAL	RESIDENT	RETAIL	Total	1 BED	1 BED + DEN	2 BED	3 BED	INTERIOR	EXTERIOR		
	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)	(SQ.M)	(SQ.FT)		
P4	3662	39417														
P3	3662	39417														
P2	3662	39417														
P1	3662	39417														
1	1349	14515	1349	14515			1349	14515	476	5127			8	1		
2	1261	13571	1261	13571			1261	13571	1124	12099			20	6		
3	1261	13571	1261	13571			1261	13571	1124	12099			20	6		
4	1261	13571	1261	13571			1261	13571	1124	12099			20	6		
5	1261	13571	1261	13571			1261	13571	1124	12099			20	6		
6	1261	13571	1261	13571			1261	13571	1124	12099			20	6		
7	750	8073	750	8073			750	8073	655	7050			12	4		
8	750	8073	750	8073			750	8073	655	7050			12	4		
9	750	8073	750	8073			750	8073	655	7050			12	4		
10	750	8073	750	8073			750	8073	655	7050			12	4		
11	750	8073	750	8073			750	8073	655	7050			12	4		
12	750	8073	750	8073			750	8073	655	7050			12	4		
13	750	8073	750	8073			750	8073	655	7050			12	4		
14	750	8073	750	8073			750	8073	655	7050			12	4		
15	750	8073	750	8073			750	8073	655	7050			12	4		
<b>Total</b>	<b>29050.5</b>	<b>312696.7</b>	<b>14402.5</b>	<b>155027.1</b>			<b>14402.5</b>	<b>155027.1</b>	<b>11991.3</b>	<b>129073.2</b>			<b>216</b>	<b>67</b>		
<b>Below Grade</b>	<b>14648</b>	<b>157669.6</b>											<b>Provided</b>	<b>31%</b>		
<b>Above Grade</b>	<b>14403</b>	<b>155027.1</b>											<b>Provided (Group)</b>	<b>74%</b>		

2 BUILDING 6 STATISTICS  
A104

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||
||





PLAN OF SURVEY SHOWING  
TOPOGRAPHIC DETAIL OF  
PART OF LOT 21, CONCESSION 1  
NORTH OF DUNDAS STREET  
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR)  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON

SCALE 1:500  
10m 5 0 10 20 30m 40 50 60 m

C. WAHBA SURVEYING LTD.  
METRIC  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

THIS PLAN WAS PREPARED FOR NEATT (16 MILE CREEK) INC.  
AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.  
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EXPRESS PERMISSION OF C. WAHBA SURVEYING LTD. IS STRICTLY PROHIBITED.

**LEGEND**

- DENOTES MONUMENT FOUND
- DENOTES MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- RSB DENOTES ROUND STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- (OU) DENOTES ORIGINS UNKNOWN
- (N) DENOTES NOT IDENTIFIABLE
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL1 DENOTES PLAN 20R-5073
- PL2 DENOTES PLAN 20R-16031
- PL3 DENOTES PLAN 20R-16277
- PL4 DENOTES EXPROPRIATION PLAN HR683869
- PL5 DENOTES EXPROPRIATION PLAN HR1105049
- PL6 DENOTES PLAN 20R-19375
- PL7 DENOTES PLAN 20R-18379
- (950) DENOTES F.G. CUNNINGHAM, O.L.S.
- (922) DENOTES F. SCHEFFER, O.L.S.
- (1583) DENOTES SEXTON MURRAY LIMITED, O.L.S.
- (JDB) DENOTES J.D. BARNES LIMITED, O.L.S.
- (WT) DENOTES WITNESS
- CALC DENOTES CALCULATED
- MEAS/M DENOTES MEASURED
- PROD DENOTES PRODUCTION
- N.E.S.W DENOTES NORTH, EAST, SOUTH, WEST
- DS DENOTES DOOR SILL ELEVATION
- L- DENOTES FENCE LINE
- OH- DENOTES OVERHEAD WIRE
- CLF DENOTES CHAINLINK FENCE
- BF DENOTES BOARD FENCE
- PWF DENOTES POST AND WIRE FENCE
- CRW DENOTES CONCRETE RETAINING WALL
- TOS DENOTES TOP OF SLOPE
- CLT DENOTES CURB
- UP DENOTES UTILITY POLE
- CB DENOTES CATCH-BASIN
- LS DENOTES LIGHT STAND
- INV. DENOTES INVERT ELEVATION
- MHST DENOTES STORM MANHOLE
- MISA DENOTES SANITARY MANHOLE
- HYO DENOTES HYDRANT
- WV DENOTES WATER VALVE
- MW DENOTES MONITORING WELL
- TELPED DENOTES TELEPHONE PEDESTAL
- TS DENOTES TRAFFIC SIGNAL POLE
- DCB DENOTES DOUBLE CATCH BASIN
- TQB DENOTES TRAFFIC CONTROL BOX
- GM DENOTES GAS METER
- JNB DENOTES JUNCTION BOX
- W DENOTES WIRE/ANCHOR
- φ DENOTES DIAMETER
- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE

**INTEGRATION NOTE**  
BEARINGS ARE GRID, UTM ZONE 17, NAD83 (ORIGINAL), DERIVED FROM:  
ORP A NORTH 4813026.37 EAST 601081.66  
ORP B NORTH 4813331.87 EAST 601317.57

COORDINATES ARE UTM ZONE 17, NAD83 (ORIGINAL), TO URBAN ACCURACY PER  
SEC 14 (2) OF OREG. 216/70 AND CANNOT IN THEMSELVES BE USED TO  
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.  
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY  
MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999706.

**ELEVATION NOTE**  
ELEVATIONS AS SHOWN HEREIN ARE GEODETIC AND ARE DERIVED FROM GPS OBSERVATIONS.

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE  
SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 25TH DAY OF MAY, 2022

MAY 27, 2022  
DATE  
C. WAHBA  
ONTARIO LAND SURVEYOR

DRAWN: S.S./R.P. CHECKED: C.W.  
CAD FILE: 22-042-POS PROJECT No. 22-042

285 Vaughan Valley Blvd. Woodbridge ON L4H3B5 Tel. 905.851.1300 www.wahbasurveying.com



ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2146965

THIS PLAN IS NOT VALID  
UNLESS IT IS AN AMENDED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
in accordance with  
Regulation 1026, Section 29(3)

**REVISION NOTE**  
SURVEY AMENDED TO INCORPORATE TREES AND MONITORING WELLS COMPLETED ON MAY 10, 2023

03	ISSUED FOR OPA & ZBA	06 DEC 2024
02	ISSUED FOR URBAN DESIGN BRIEF	31 OCT 2024
01	ISSUED FOR PRE-CONSULTATION	05 SEP 2024
	MEETING #02	
NO.	REVISIONS	DATE

**COREARCHITECTS**  
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INFO@COREARCHITECTS.COM  
WWW.COREARCHITECTS.COM

3056 NEYAGAWA BLVD  
OAKVILLE, ON



**SITE SURVEY**

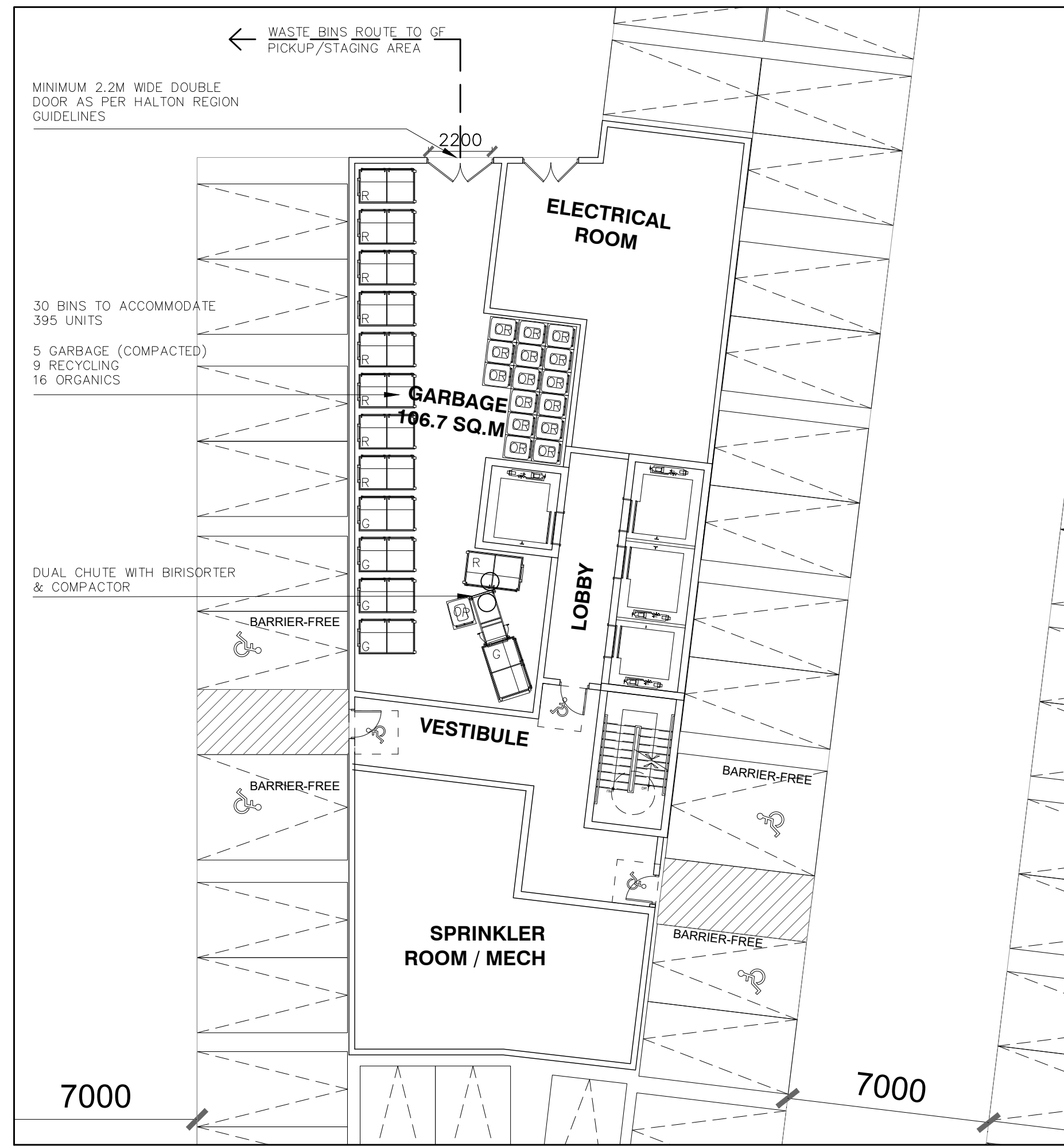
Project No. 23-109 Drawing No. **A105**

DUNDAS STREET WEST - REGIONAL ROAD No. 5  
ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSION 1 SOUTH OF DUNDAS STREET AND 1 NORTH OF DUNDAS STREET (TRAFALGAR)  
ORDER IN COUNCIL 2418/99, INST. No. HR120129, PART 1, PLAN P-2074-173A  
P.I.N. 24928-0204

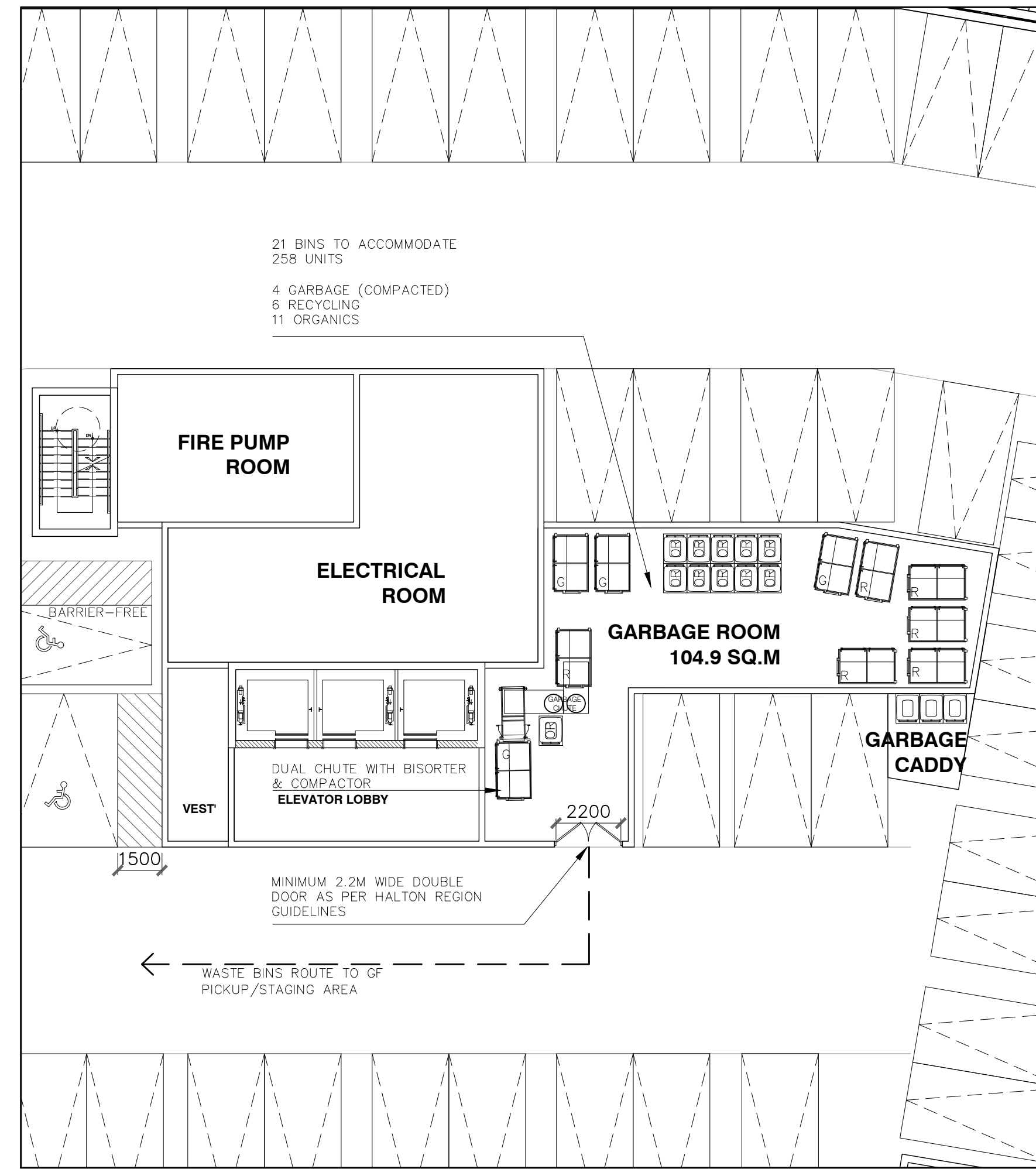




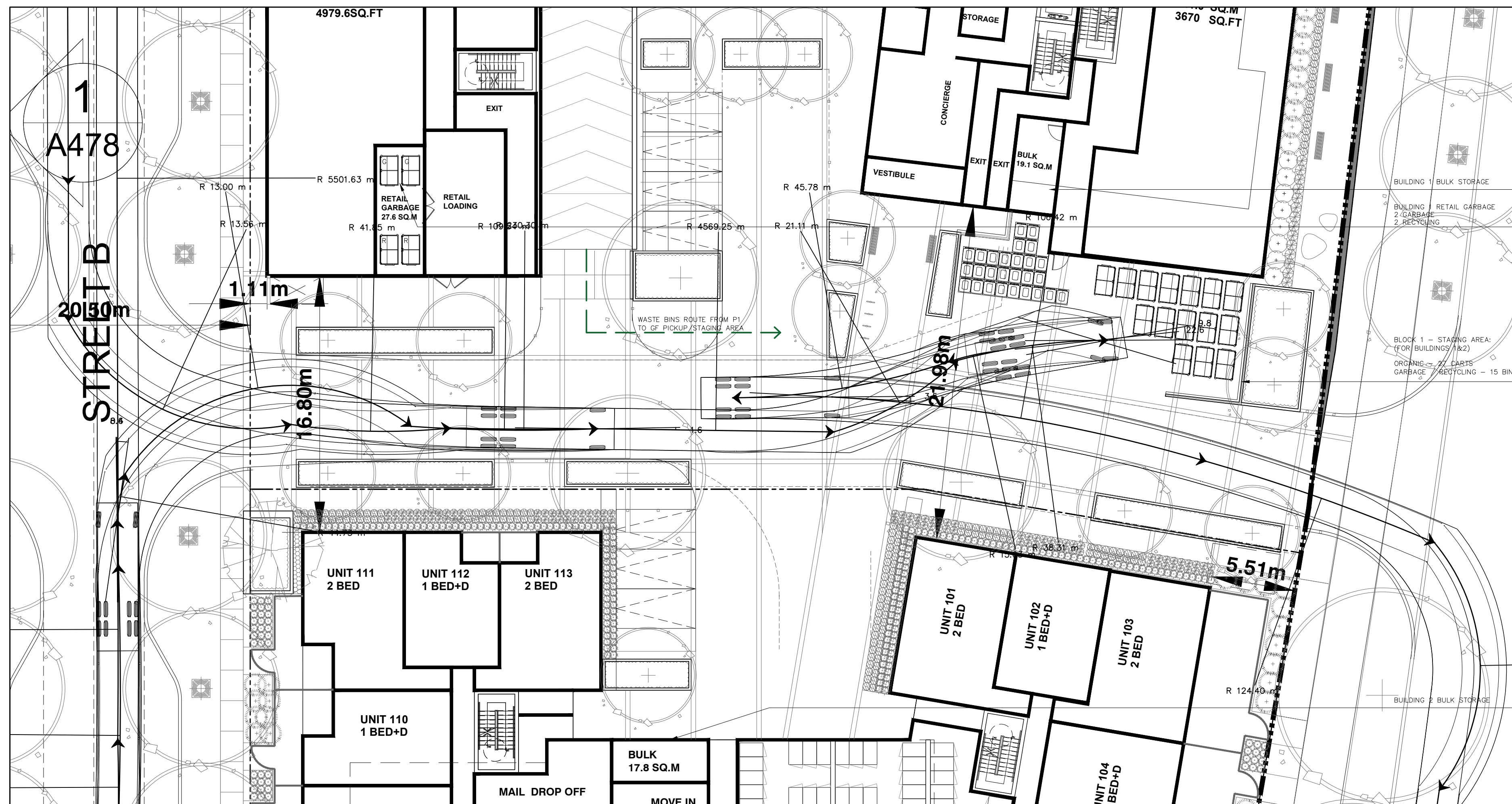




3 BUILDING 1 – GARBAGE ROOM @ P1  
A107



2 BUILDING 2 – GARBAGE ROOM @ P1  
A107



1 BLOCK 1 – LOADING AREA  
A107

BUILDING 1 395 (UNITS) RESIDENTIAL		
MINIMUM NUMBER OF BINS REQUIRED –	VALUE	UNIT
GARBAGE	8	3 CU. YD. BIN(S)
RECYCLING	9	3 CU. YD. BIN(S)
ORGANIC	16	95 GAL. CART(S)
TOTAL BIN/CART FOOTPRINT AREA		64.9 SQ.M

BUILDING 2 258 (UNITS) RESIDENTIAL		
MINIMUM NUMBER OF BINS REQUIRED –	VALUE	UNIT
GARBAGE	4	3 CU. YD. BIN(S)
RECYCLING	6	3 CU. YD. BIN(S)
ORGANIC	11	95 GAL. CART(S)
TOTAL BIN/CART FOOTPRINT AREA		51.8 SQ.M

- NOTES:
- NUMBER OF BINS AND AREAS CALCULATED AS PER HALTON REGION GUIDELINE. (REFER TO WASTE MANAGEMENT PLAN)
  - MINIMUM 2.2M WIDE DOUBLE DOOR AS PER HALTON REGION GUIDELINE
  - OVERHEAD CLEARANCE THROUGHOUT THE PRIVATE ROAD MUST BE MINIMUM OF 7.5M AND BE FREE FROM OBSTRUCTIONS SUCH AS OVERHANGS, AWNINGS, UTILITY WIRES, BALCONIES, AND MUST BE KEPT CLEAR OF TREE BRANCHES, ETC.
  - ALL PRIVATE ROADS AND SUPPORTED STRUCTURES ALONG THE WASTE COLLECTION ROUTE MUST BE DESIGNED AND CONSTRUCTED TO SUPPORT MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK).
  - COLLECTION POINT MUST BE LEVEL (THE CHANGE OF GRADE MUST NOT BE MORE THAN +/- 2%) AND IF APPLICABLE, MUST BE CERTIFIED THAT IT IS DESIGNED AND CONSTRUCTED TO SUPPORT A MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK).

LEGEND

- NOTES:
- OVERHEAD CLEARANCE THROUGHOUT THE PRIVATE ROAD MUST BE A MINIMUM OF 7.5M AND BE FREE FROM OBSTRUCTIONS SUCH AS OVERHANGS, AWNINGS, UTILITY WIRES, BALCONIES, AND MUST BE KEPT CLEAR OF TREE BRANCHES, ETC.
  - ALL PRIVATE ROADS AND SUPPORTED STRUCTURES ALONG THE WASTE COLLECTION ROUTE MUST BE DESIGNED AND CONSTRUCTED TO SUPPORT A MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK). THE REGION WILL RECEIVE A LETTER, CERTIFIED BY AN ONTARIO PROFESSIONAL ENGINEER, IN ADVANCE OF ANY INITIAL WASTE COLLECTION, INDICATING THAT THE SUPPORTED STRUCTURE CAN SUPPORT A FULLY LOADED WASTE TRUCK.
  - THE COLLECTION POINT MUST BE LEVEL (THE CHANGE OF GRADE MUST BE LABELLED ON THE SITE PLAN AND NOT BE MORE THAN +/- 2%)
  - A TRAINED ON-SITE STAFF MEMBER TO BE AVAILABLE TO MANUEVER WASTE BINS FOR CITY COLLECTION AT THE LOADING AREA AND ALSO ACT AS A FLAGMAN WHEN TRUCK IS PARKING AND REVERSING.
  - RETAIL MANAGEMENT MUST ARRANGE FOR THEIR COLLECTION DAYS TO BE SCHEDULED ON OPPOSITE DAYS FROM THOSE OF THE RESIDENTIAL COLLECTION DAYS.
  - RETAIL / COMMERCIAL BINS WILL BE LABELED SEPARATELY, AND MUST BE CLEARLY LABELED.
  - ILLUSTRATED VEHICLE MOVEMENT DIAGRAM IS TAKEN FROM TRAFFIC REPORT. REFER ALSO TO TRAFFIC REPORT.
  - REFER TO SITE SERVICING AND GRADING PLAN FOR DETAILED GRADING.
  - REFER TO LANDSCAPE PLAN FOR PLANTING AND PAVING LOCATION, MATERIALS AND DETAILS.
  - TWO CHUTES EQUIPPED. ONE CW B-SORTER FOR GARBAGE (G) AND COMPOST (C), OTHER CHUTE FOR RECYCLING (R), GARBAGE STREAM ATTACHED TO COMPACTOR

NO.	REVISIONS	DATE
03	ISSUED FOR OPA & ZBA	06 DEC 2024
02	ISSUED FOR URBAN DESIGN BRIEF	31 OCT 2024
01	ISSUED FOR PRE-CONSULTATION MEETING #02	05 SEP 2024

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB.

**COREARCHITECTS**  
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3056 NEYAGAWA BLVD  
OAKVILLE, ON

neatt



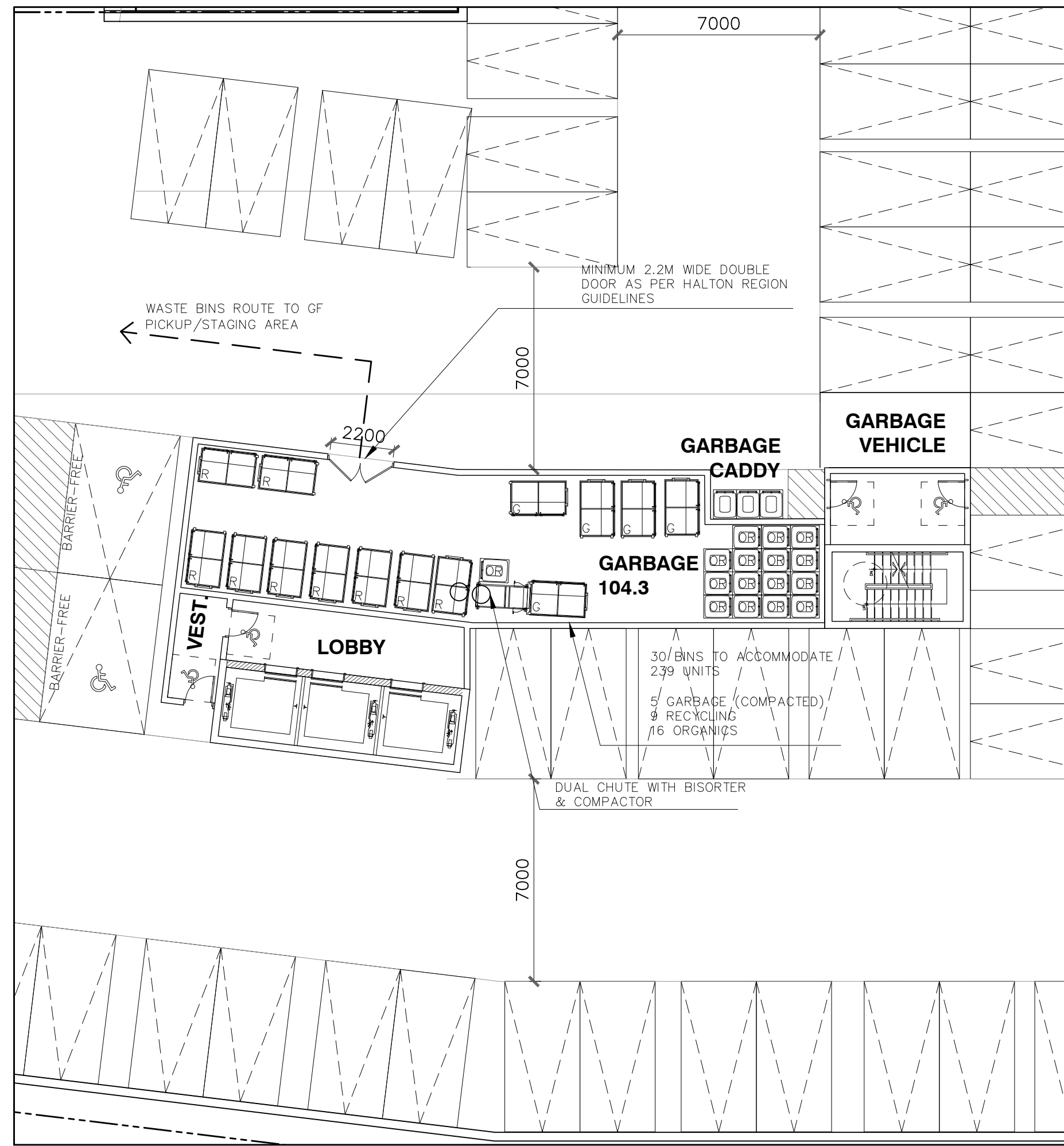
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Checked CW	Date MARCH 2024

Title  
WASTE MANAGEMENT-  
BLOCK 1

Project No.  
23-109

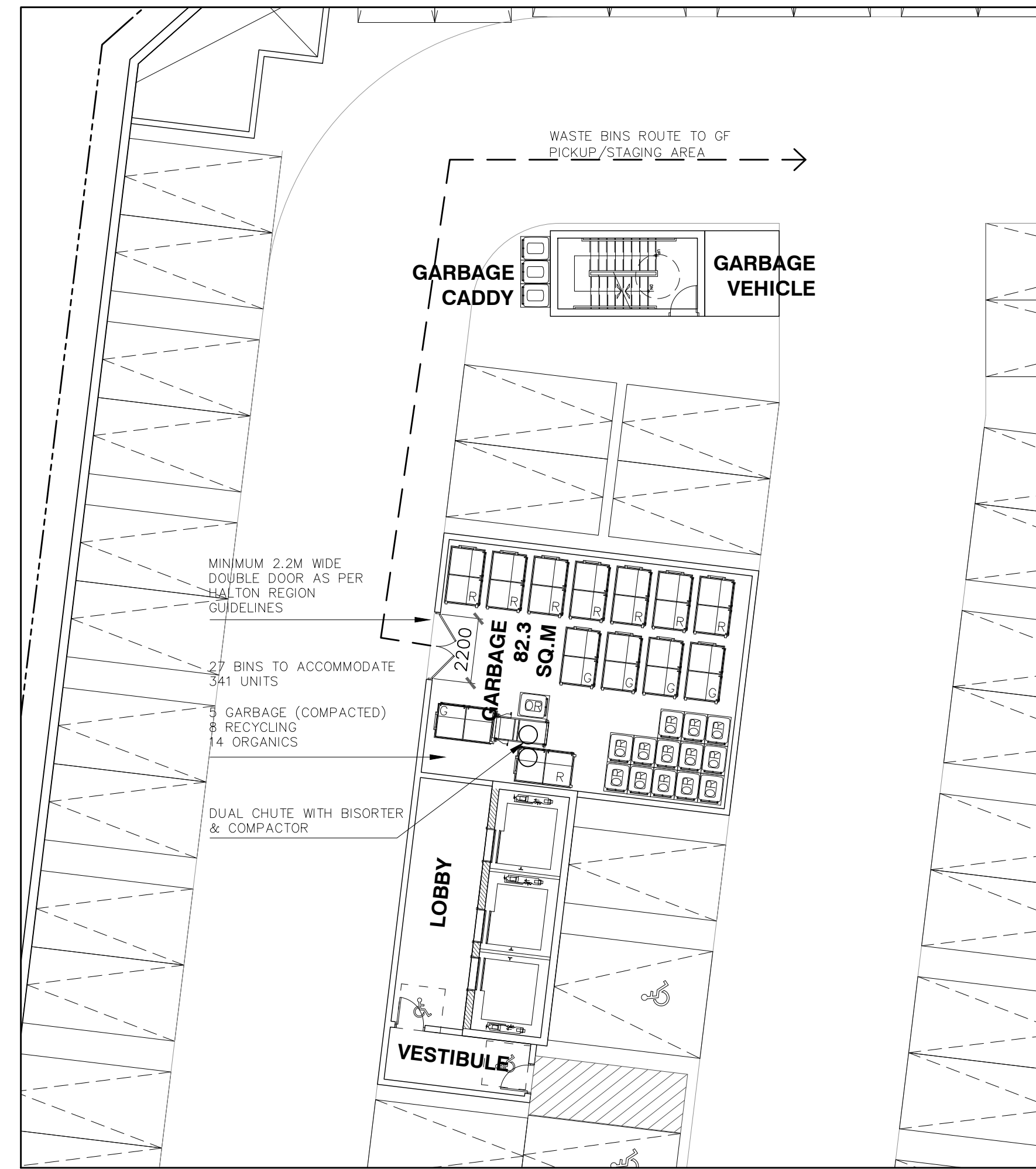
Drawing No.  
A107





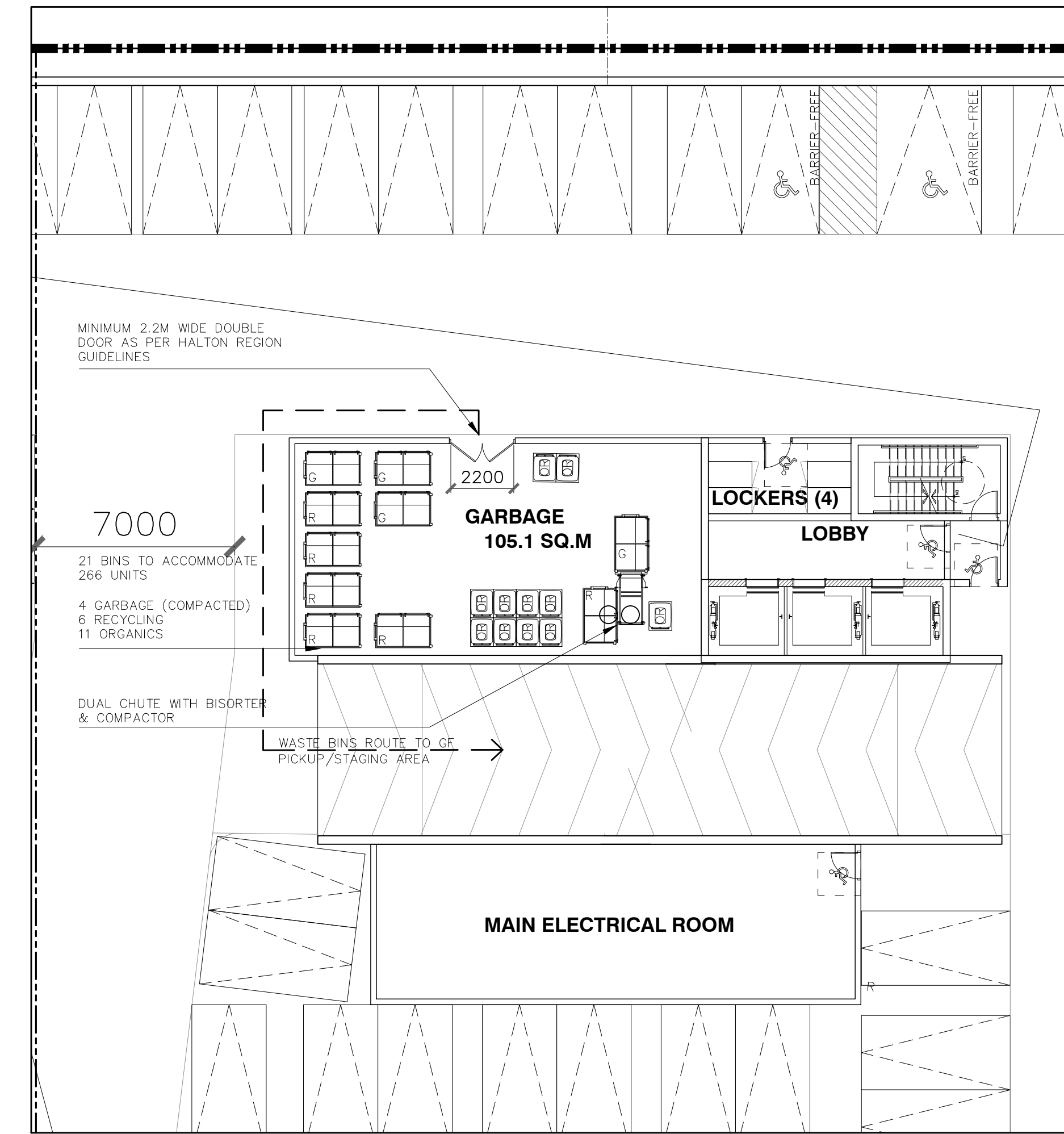
4 BUILDING 5 – GARBAGE ROOM @ P1

A108



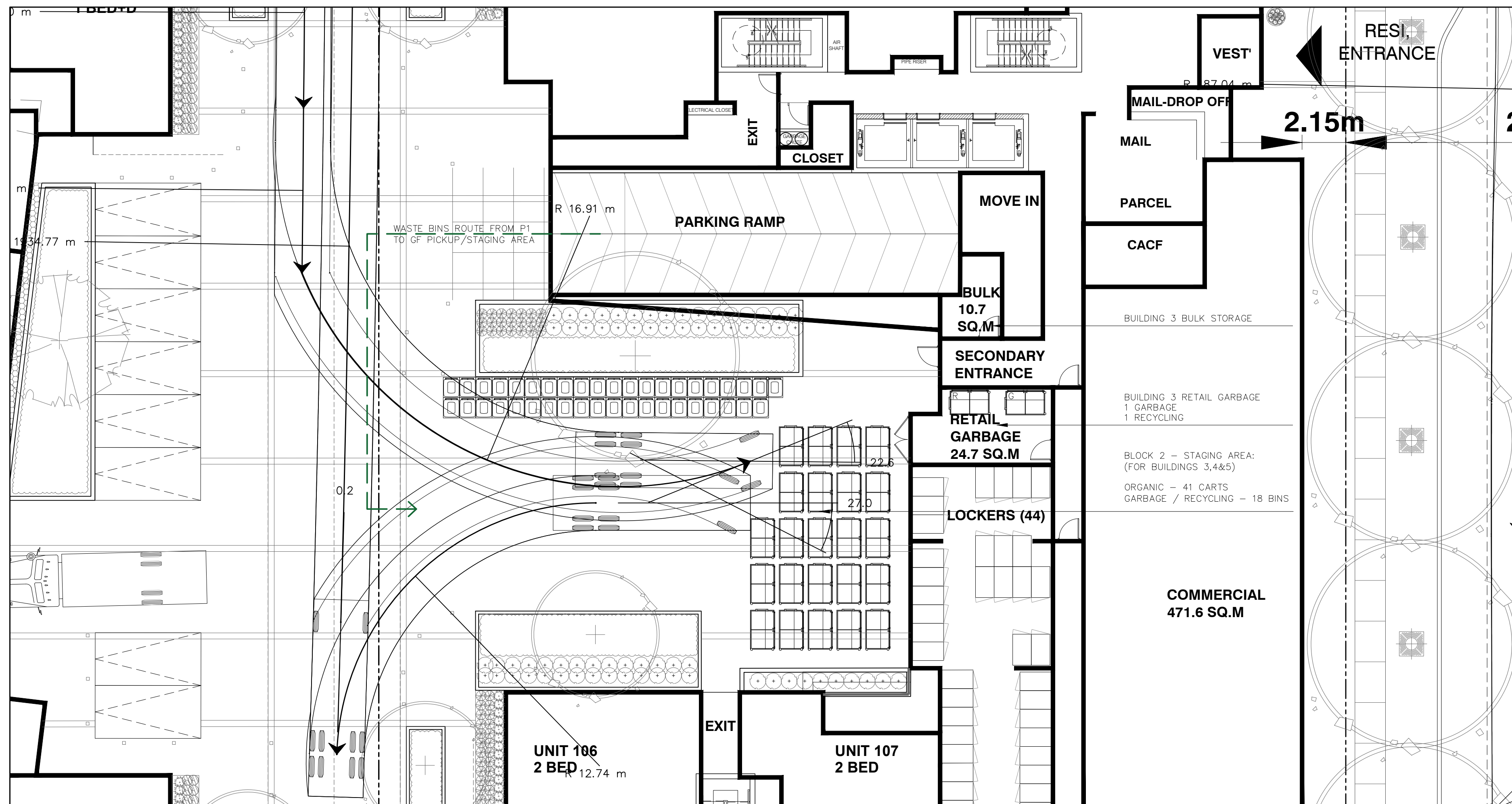
3 BUILDING 4 – GARBAGE ROOM @ P1

A108



1 BUILDING 3 – GARBAGE ROOM @ P1

A108



2 BLOCK 2 – STAGING/LOADING AREA

A108

BUILDING 3 266 (UNITS)		
MINIMUM NUMBER OF BINS REQUIRED – RESIDENTIAL	VALUE	UNIT
GARBAGE	4	3 CU. YD. BIN(S)
RECYCLING	6	3 CU. YD. BIN(S)
ORGANIC	11	95 GAL. CART(S)
TOTAL BIN/CART FOOTPRINT AREA		51.8 SQ.M

BUILDING 4 341 (UNITS)		
MINIMUM NUMBER OF BINS REQUIRED – RESIDENTIAL	VALUE	UNIT
GARBAGE	5	3 CU. YD. BIN(S)
RECYCLING	8	3 CU. YD. BIN(S)
ORGANIC	14	95 GAL. CART(S)
TOTAL BIN/CART FOOTPRINT AREA		61.0 SQ.M

BUILDING 5 389 (UNITS)		
MINIMUM NUMBER OF BINS REQUIRED – RESIDENTIAL	VALUE	UNIT
GARBAGE	5	3 CU. YD. BIN(S)
RECYCLING	9	3 CU. YD. BIN(S)
ORGANIC	16	95 GAL. CART(S)
TOTAL BIN/CART FOOTPRINT AREA		62.6 SQ.M

- NOTES:
- NUMBER OF BINS AND AREAS CALCULATED AS PER HALTON REGION GUIDELINE. (REFER TO WASTE MANAGEMENT PLAN)
  - MINIMUM 2.2M WIDE DOUBLE DOOR AS PER HALTON REGION GUIDELINE
  - OVERHEAD CLEARANCE THROUGHOUT THE PRIVATE ROAD MUST BE MINIMUM OF 7.5M AND BE FREE FROM OBSTRUCTIONS SUCH AS OVERHANGS, AWNINGS, UTILITY WIRES, BALCONIES, AND MUST BE KEPT CLEAR OF TREE BRANCHES, ETC.
  - ALL PRIVATE ROADS AND SUPPORTED STRUCTURES ALONG THE WASTE COLLECTION ROUTE MUST BE DESIGNED AND CONSTRUCTED TO SUPPORT MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK).
  - COLLECTION POINT MUST BE LEVEL (THE CHANGE OF GRADE MUST NOT BE MORE THAN +/- 2%) AND IF APPLICABLE, MUST BE CERTIFIED THAT IT IS DESIGNED AND CONSTRUCTED TO SUPPORT A MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK).

LEGEND

- NOTES:
- OVERHEAD CLEARANCE THROUGHOUT THE PRIVATE ROAD MUST BE A MINIMUM OF 7.5M AND BE FREE FROM OBSTRUCTIONS SUCH AS OVERHANGS, AWNINGS, UTILITY WIRES, BALCONIES, AND MUST BE KEPT CLEAR OF TREE BRANCHES, ETC.
  - ALL PRIVATE ROADS AND SUPPORTED STRUCTURES ALONG THE WASTE COLLECTION ROUTE MUST BE DESIGNED AND CONSTRUCTED TO SUPPORT A MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK). THE REGION WILL RECEIVE A LETTER, CERTIFIED BY AN ONTARIO PROFESSIONAL ENGINEER, IN ADVANCE OF ANY INITIAL WASTE COLLECTION, INDICATING THAT THE SUPPORTED STRUCTURE CAN SUPPORT A FULLY LOADED WASTE TRUCK.
  - THE COLLECTION POINT MUST BE LEVEL (THE CHANGE OF GRADE MUST BE LABELLED ON THE SITE PLAN AND NOT BE MORE THAN +/- 2%)
  - A TRAINED ON-SITE STAFF MEMBER TO BE AVAILABLE TO MANUEVER WASTE BINS FOR CITY COLLECTION AT THE LOADING AREA AND ALSO ACT AS A FLAGMAN WHEN TRUCK IS PARKING AND REVERSING.
  - RETAIL MANAGEMENT MUST ARRANGE FOR THEIR COLLECTION DAYS TO BE SCHEDULED ON OPPOSITE DAYS FROM THOSE OF THE RESIDENTIAL COLLECTION DAYS.
  - RETAIL / COMMERCIAL BINS WILL BE LABELED SEPARATELY, AND MUST BE CLEARLY LABELED.
  - ILLUSTRATED VEHICLE MOVEMENT DIAGRAM IS TAKEN FROM TRAFFIC REPORT. REFER ALSO TO TRAFFIC REPORT.
  - REFER TO SITE SERVICING AND GRADING PLAN FOR DETAILED GRADING.
  - REFER TO LANDSCAPE PLAN FOR PLANTING AND PAVING LOCATION, MATERIALS AND DETAILS.
  - TWO CHUTES EQUIPPED. ONE C/W BI-SORTER FOR GARBAGE (G) AND COMPOST (C). OTHER CHUTE FOR RECYCLING (R). GARBAGE STREAM ATTACHED TO COMPACTOR

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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB.

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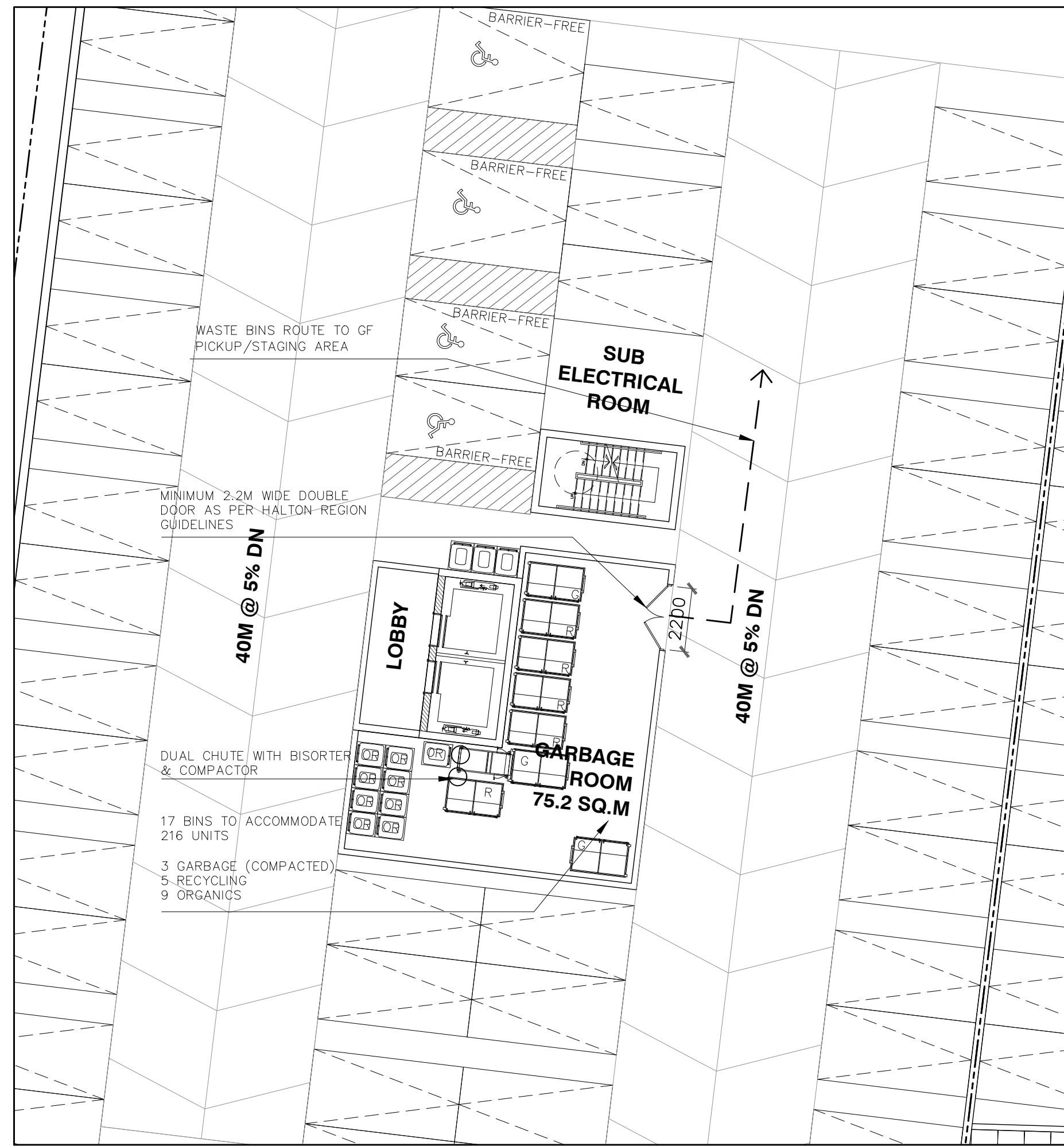
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OAKVILLE, ON

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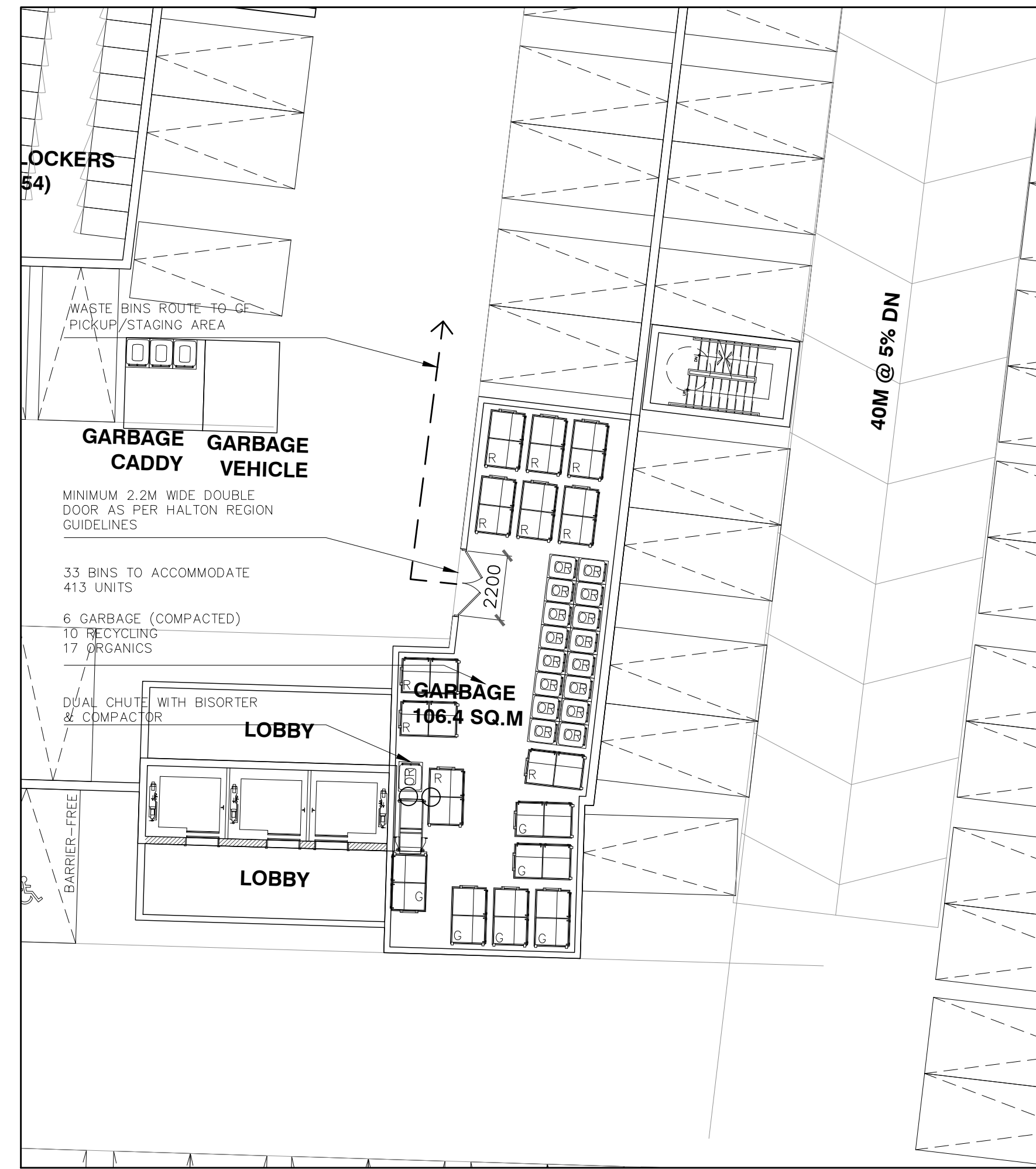


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Checked CW	Date MARCH 2024
Title WASTE MANAGEMENT- BLOCK 2	

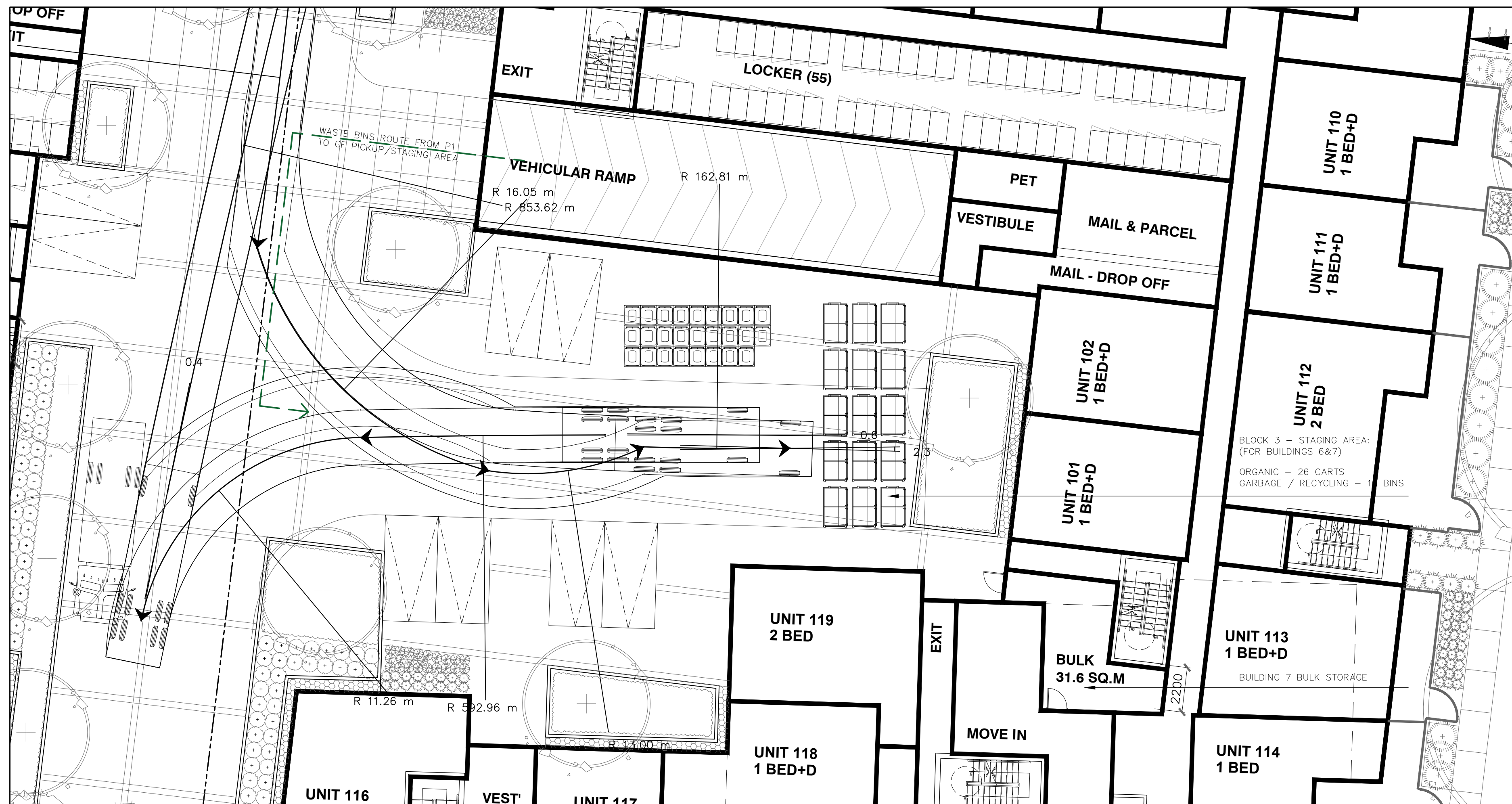




3 BUILDING 6 - GARBAGE ROOM @ P1  
A107



2 BUILDING 7 - GARBAGE ROOM @ P1  
A107



1 BLOCK 1 - LOADING AREA  
A107

BUILDING 6 216 (UNITS)		
MINIMUM NUMBER OF BINS REQUIRED -	VALUE	UNIT
RESIDENTIAL		
GARBAGE	3	3 CU. YD. BIN(S)
RECYCLING	5	3 CU. YD. BIN(S)
ORGANIC	9	95 GAL. CART(S)
TOTAL BIN/CART FOOTPRINT AREA		45.6 SQ.M

BUILDING 7 413 (UNITS)		
MINIMUM NUMBER OF BINS REQUIRED -	VALUE	UNIT
RESIDENTIAL		
GARBAGE	6	3 CU. YD. BIN(S)
RECYCLING	10	3 CU. YD. BIN(S)
ORGANIC	17	95 GAL. CART(S)
TOTAL BIN/CART FOOTPRINT AREA		70.2 SQ.M

- NOTES:
- NUMBER OF BINS AND AREAS CALCULATED AS PER HALTON REGION GUIDELINE. (REFER TO WASTE MANAGEMENT PLAN)
  - MINIMUM 2.2M WIDE DOUBLE DOOR AS PER HALTON REGION GUIDELINE
  - OVERHEAD CLEARANCE THROUGHOUT THE PRIVATE ROAD MUST BE MINIMUM OF 7.5M AND BE FREE FROM OBSTRUCTIONS SUCH AS OVERHANGS, AWNINGS, UTILITY WIRES, BALCONIES, AND MUST BE KEPT CLEAR OF TREE BRANCHES, ETC.
  - ALL PRIVATE ROADS AND SUPPORTED STRUCTURES ALONG THE WASTE COLLECTION ROUTE MUST BE DESIGNED AND CONSTRUCTED TO SUPPORT MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK).
  - COLLECTION POINT MUST BE LEVEL (THE CHANGE OF GRADE MUST NOT BE MORE THAN +/- 2%) AND IF APPLICABLE, MUST BE CERTIFIED THAT IT IS DESIGNED AND CONSTRUCTED TO SUPPORT A MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK).

LEGEND

- NOTES:
- OVERHEAD CLEARANCE THROUGHOUT THE PRIVATE ROAD MUST BE A MINIMUM OF 7.5M AND BE FREE FROM OBSTRUCTIONS SUCH AS OVERHANGS, AWNINGS, UTILITY WIRES, BALCONIES, AND MUST BE KEPT CLEAR OF TREE BRANCHES, ETC.
  - ALL PRIVATE ROADS AND SUPPORTED STRUCTURES ALONG THE WASTE COLLECTION ROUTE MUST BE DESIGNED AND CONSTRUCTED TO SUPPORT A MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK). THE REGION WILL RECEIVE A LETTER, CERTIFIED BY AN ONTARIO PROFESSIONAL ENGINEER, IN ADVANCE OF ANY INITIAL WASTE COLLECTION, INDICATING THAT THE SUPPORTED STRUCTURE CAN SUPPORT A FULLY LOADED WASTE TRUCK.
  - THE COLLECTION POINT MUST BE LEVEL (THE CHANGE OF GRADE MUST BE LABELLED ON THE SITE PLAN AND NOT BE MORE THAN +/- 2%)
  - A TRAINED ON-SITE STAFF MEMBER TO BE AVAILABLE TO MANEUVER WASTE BINS FOR CITY COLLECTION AT THE LOADING AREA AND ALSO ACT AS A FLAGMAN WHEN TRUCK IS PARKING AND REVERSING.
  - RETAIL / COMMERCIAL BINS WILL BE LABELED SEPARATELY, AND MUST BE CLEARLY LABELED.
  - ILLUSTRATED VEHICLE MOVEMENT DIAGRAM IS TAKEN FROM TRAFFIC REPORT. REFER ALSO TO TRAFFIC REPORT.
  - REFER TO SITE SERVICING AND GRADING PLAN FOR DETAILED GRADING.
  - REFER TO LANDSCAPE PLAN FOR PLANTING AND PAVING LOCATION, MATERIALS AND DETAILS.
  - TWO CHUTES EQUIPPED. ONE C/W BI-SORTER FOR GARBAGE (G) AND COMPOST (C). OTHER CHUTE FOR RECYCLING (R). GARBAGE STREAM ATTACHED TO COMPACTOR

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01	ISSUED FOR PRE-CONSULTATION MEETING #02	05 SEP 2024

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Title  
WASTE MANAGEMENT-  
BLOCK 3



# FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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A483

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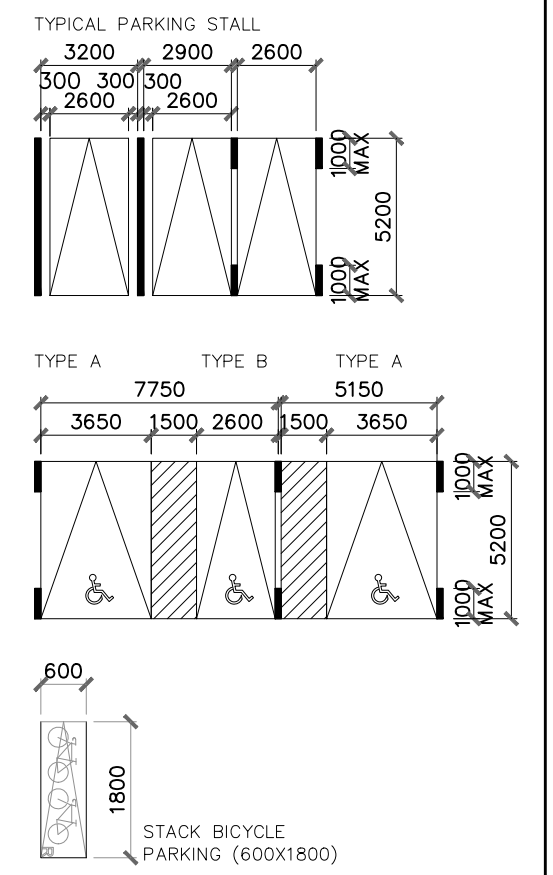
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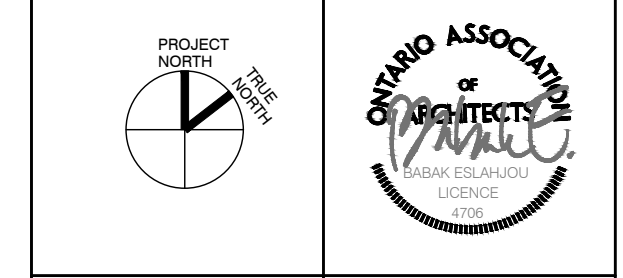
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 Checked: CW, Date: MARCH 2024

Title: LEVEL P4

Project No. 23-109, Drawing No. A200



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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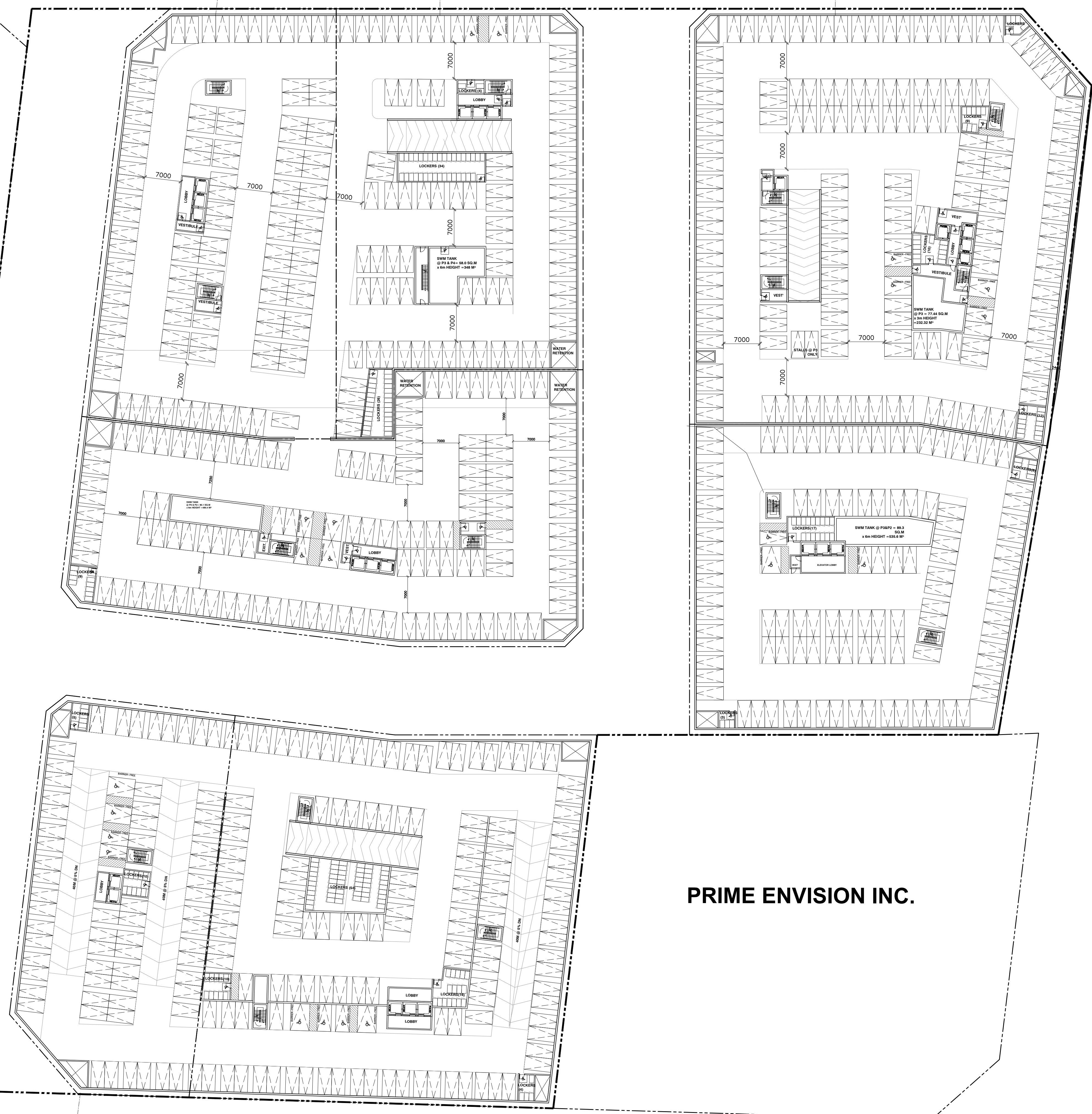
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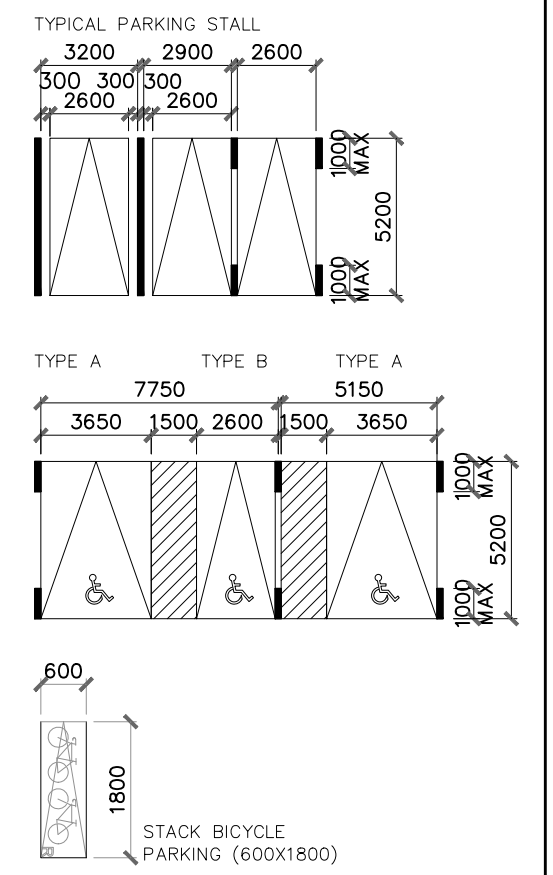
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Title  
 LEVEL P3



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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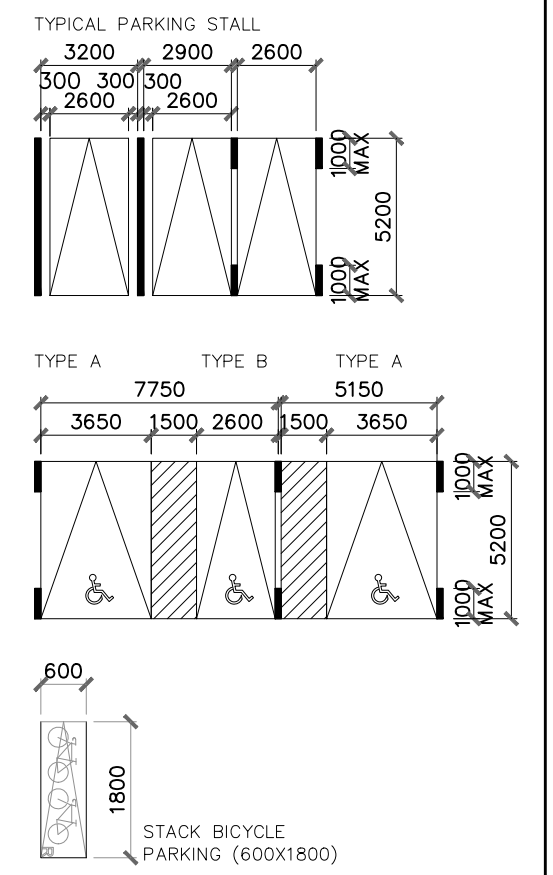
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Title  
 LEVEL P2



# FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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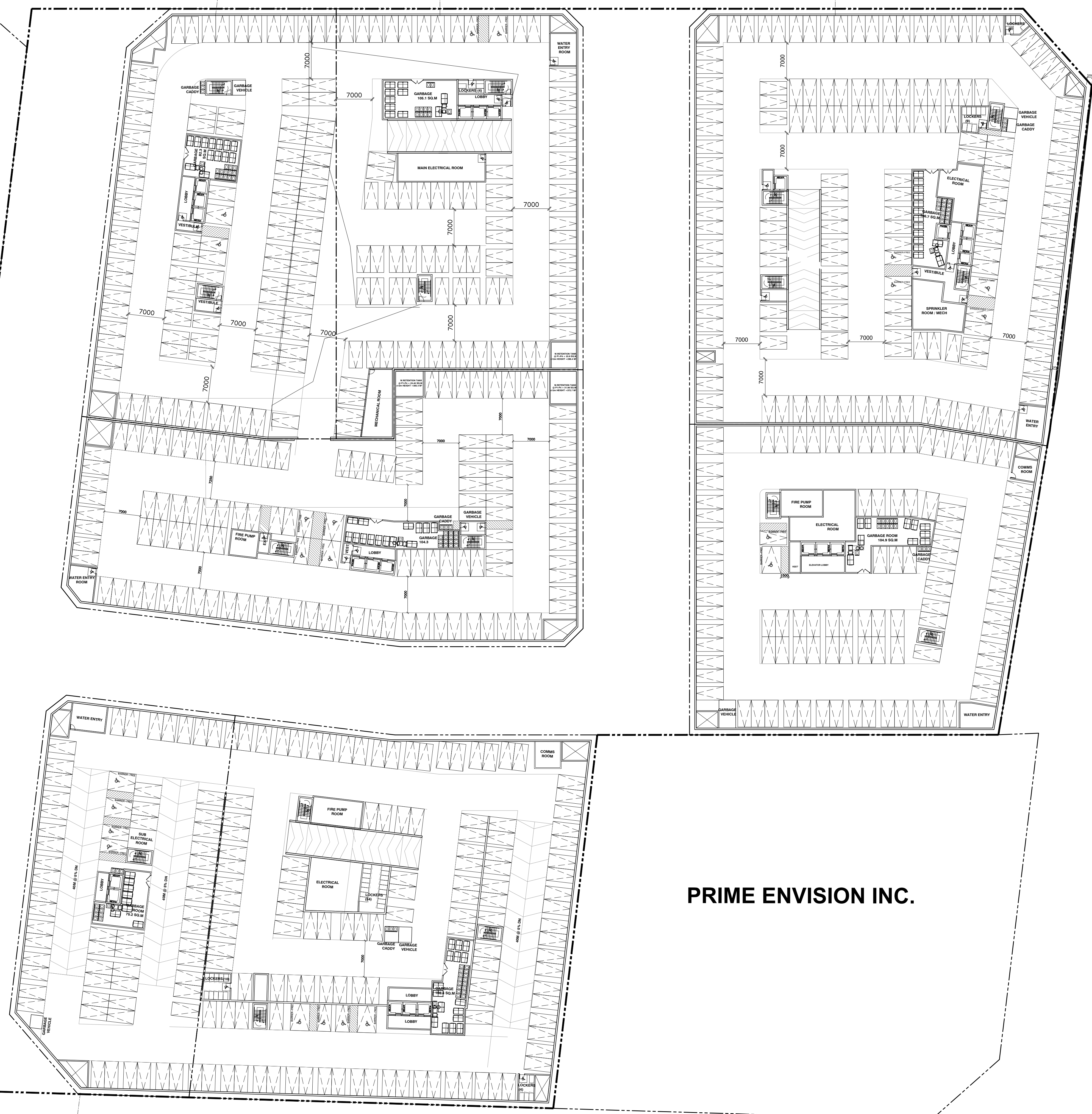
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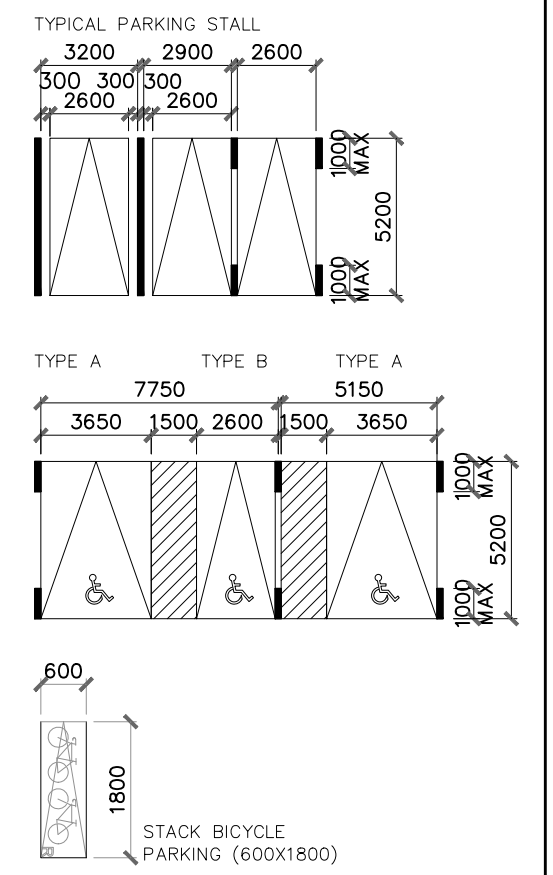
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Title  
**LEVEL P1**



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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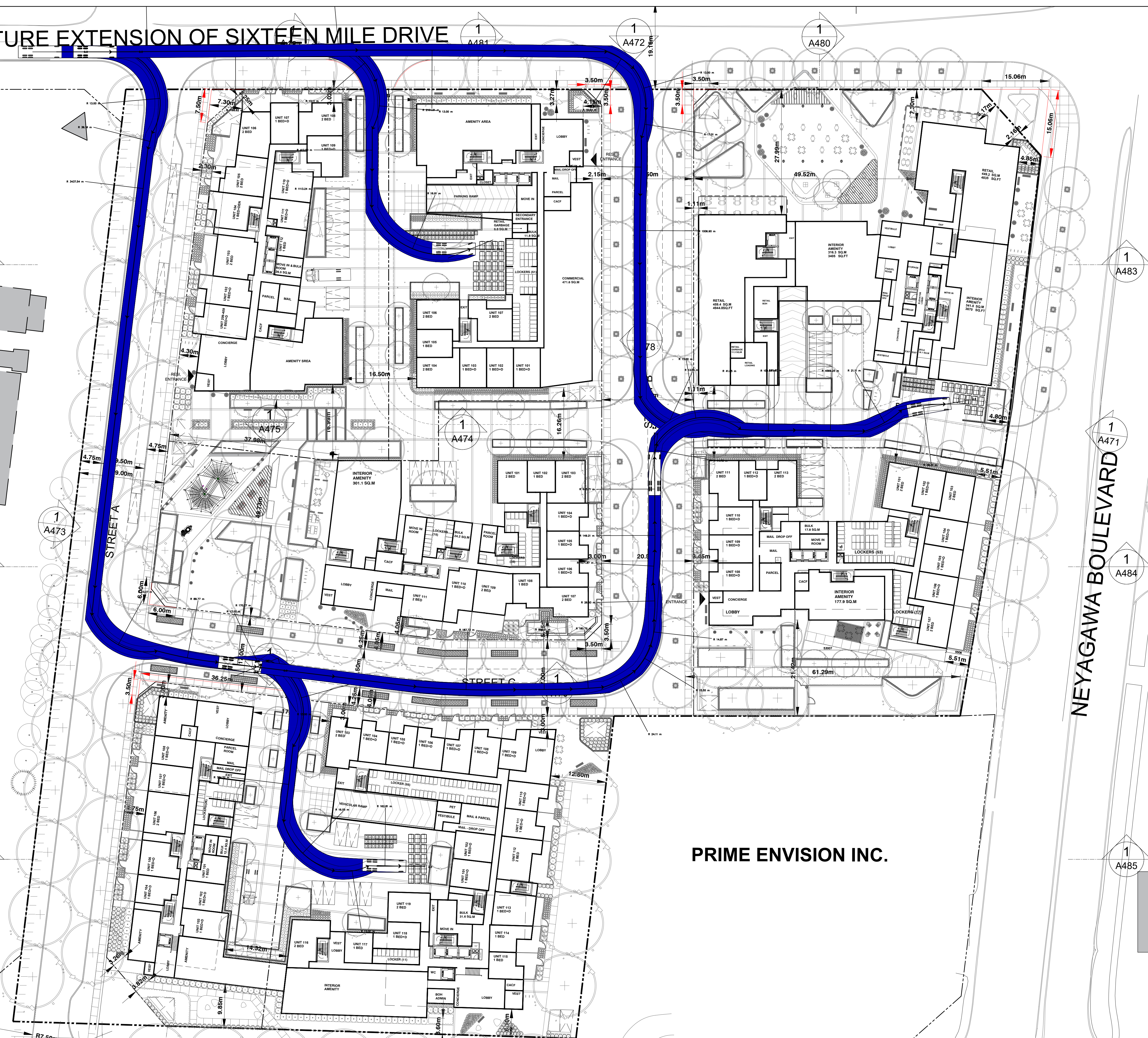
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Title	LEVEL 1		



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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STREET A

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STREET C

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STREET B

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Title LEVEL 2	



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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A485

STREET A

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STREET C

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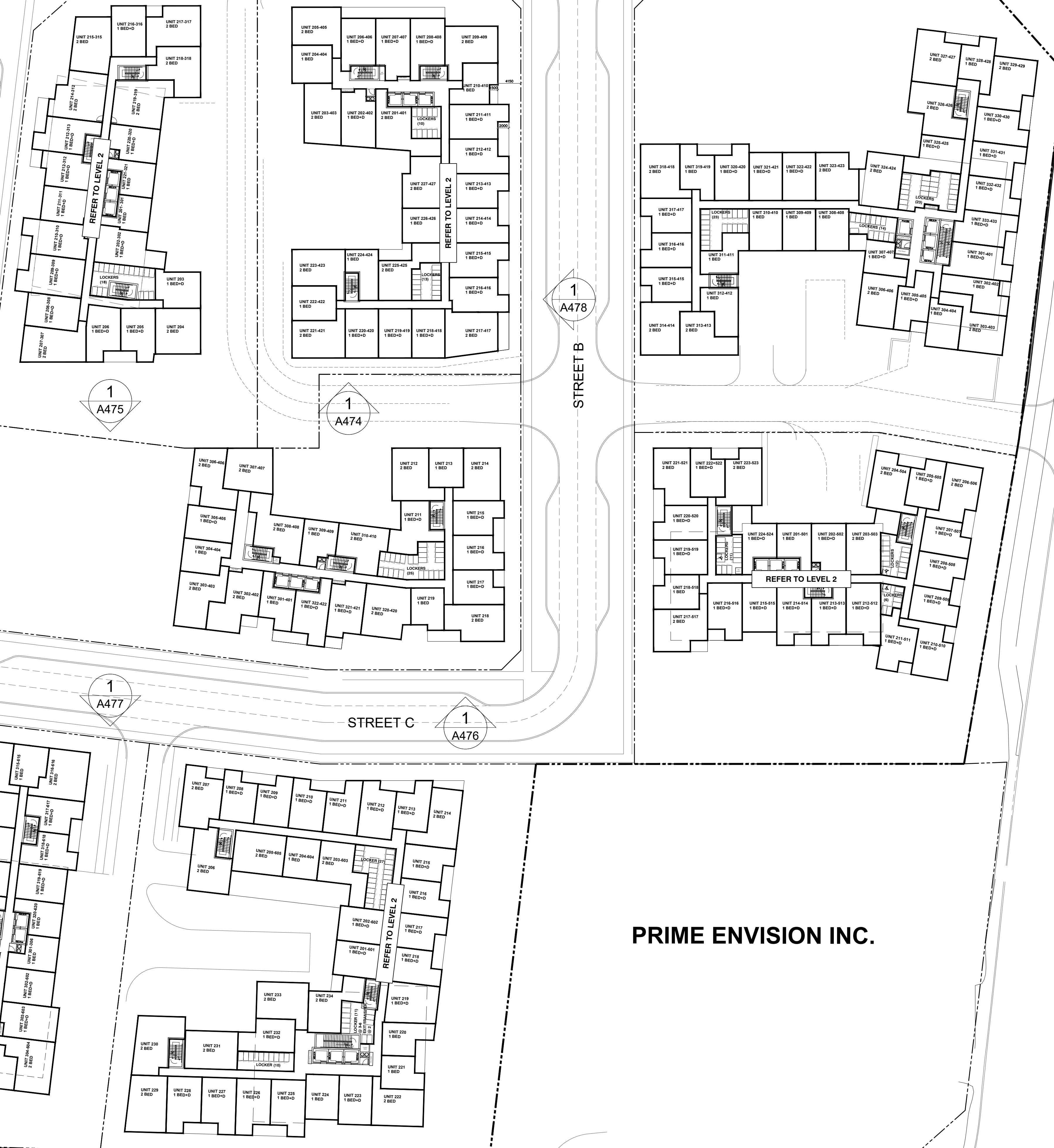
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Title	LEVEL 3		



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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A485

STREET A

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STREET C

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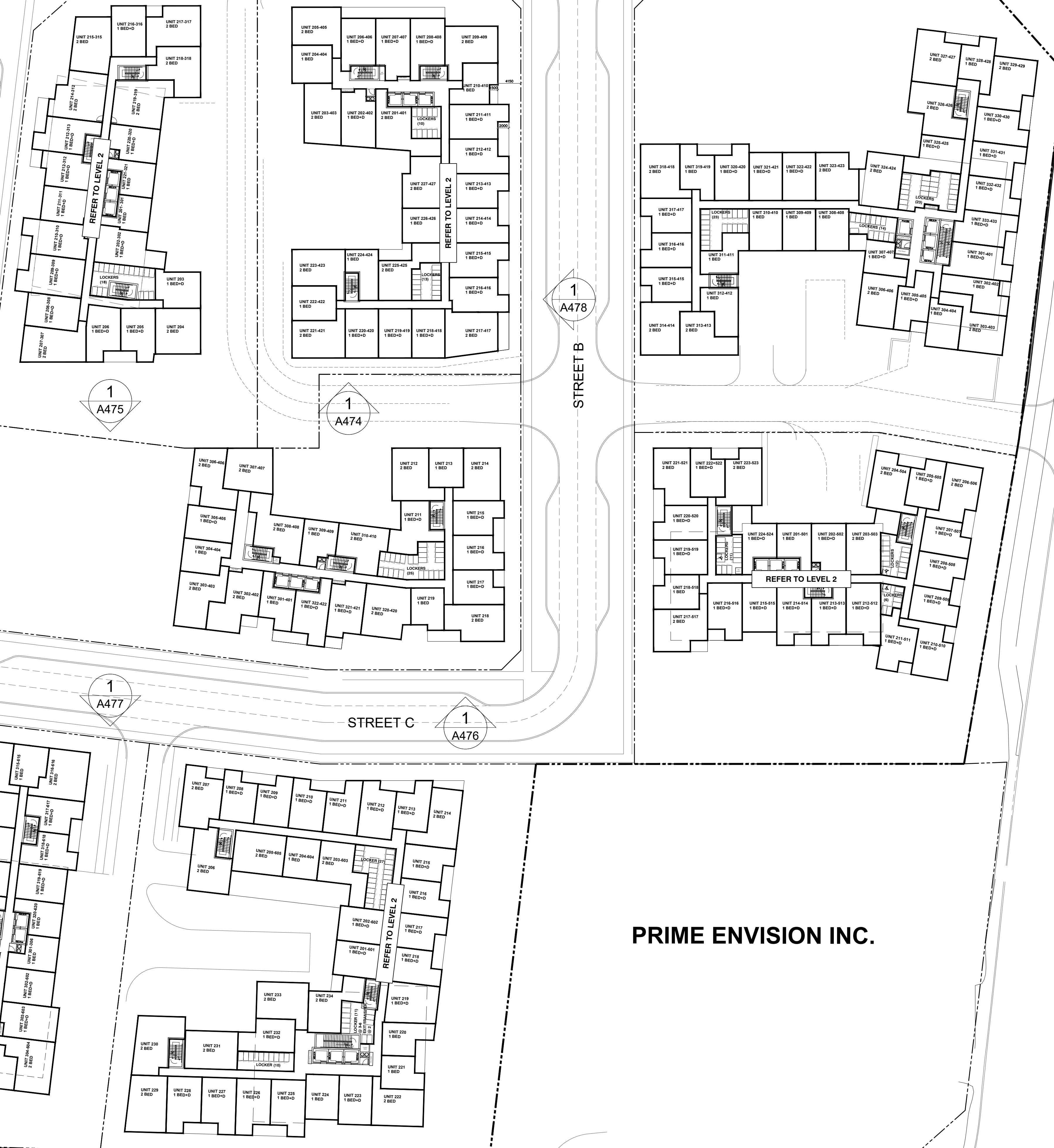
STREET B

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Title	LEVEL 4		



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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STREET A

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STREET B

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Checked: CW  
Date: MARCH 2024

Title: LEVEL 5

Project No. 23-109  
Drawing No. A208



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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A483

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A484

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A485

STREET A

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STREET C

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STREET B

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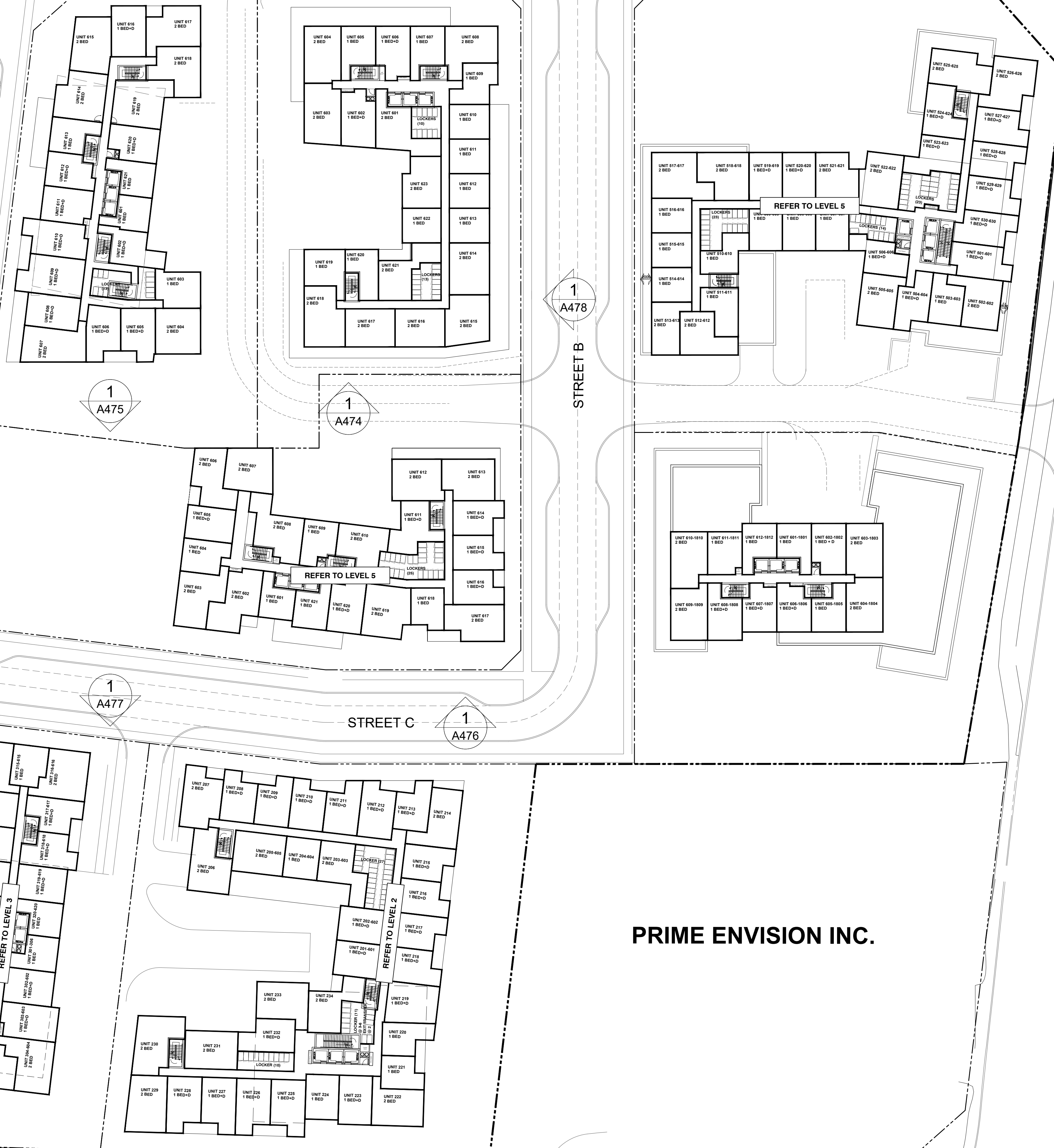
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Title  
LEVEL 6







FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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A472

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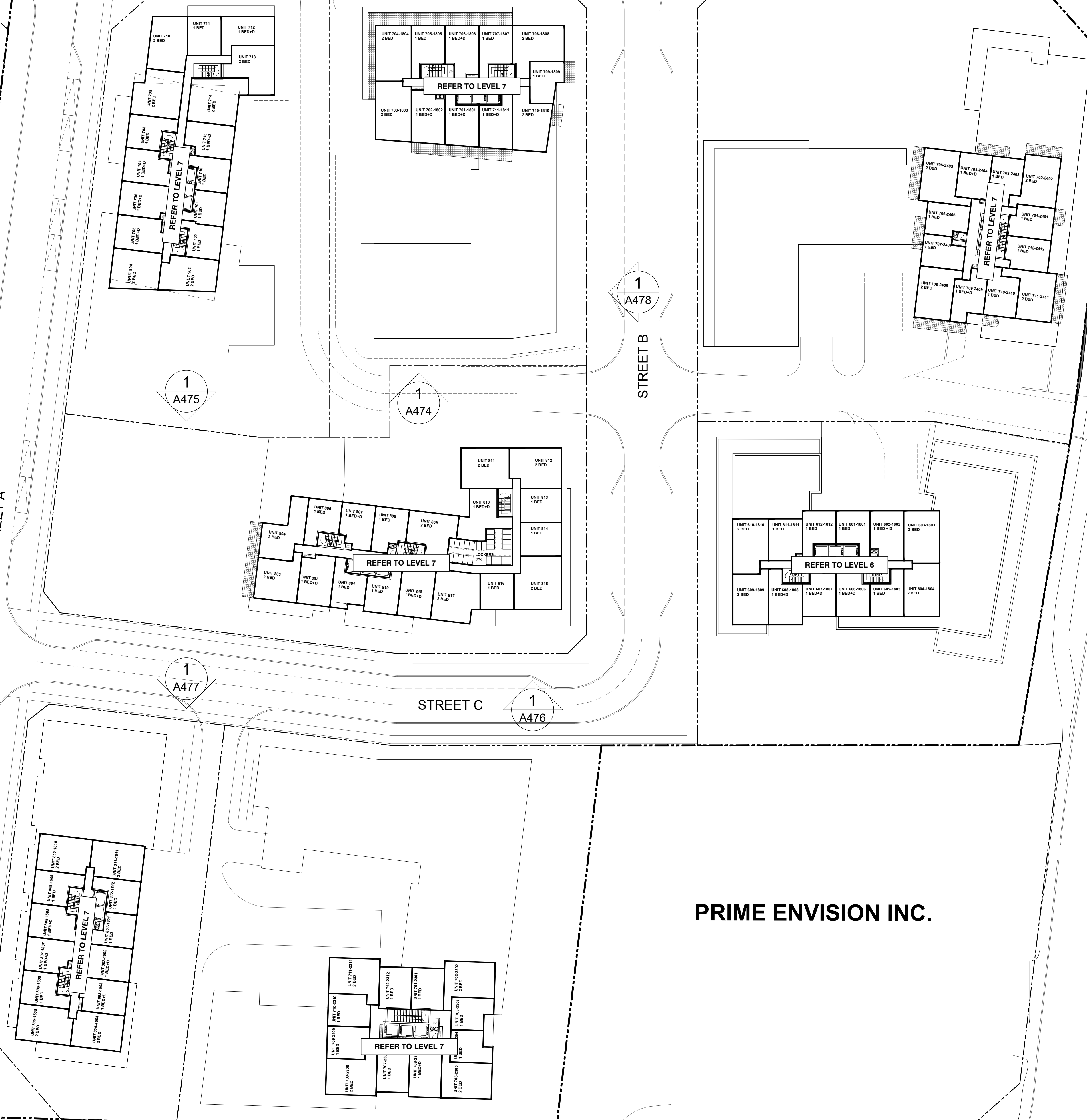
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STREET A

STREET B

NEYAGAWA BOULEVARD



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Checked CW	Date MARCH 2024
Title LEVEL 8	

Project No.  
23-109

Drawing No.  
**A211**



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

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A483

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A484

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A485

STREET A

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A475

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A474

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A477

STREET C

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A476

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A478  
STREET B

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A480

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A471

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A484

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A485

NEYAGAWA BOULEVARD

12.7m

REFER TO LEVEL 7

REFER TO LEVEL 7

REFER TO LEVEL 6

REFER TO LEVEL 7

REFER TO LEVEL 7

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02	ISSUED FOR URBAN DESIGN BRIEF	31 OCT 2024
01	ISSUED FOR PRE-CONSULTATION	05 SEP 2024
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3056 NEYAGAWA BLVD  
OAKVILLE, ON

neatt



Drawn	SR	Scale	1:400
Checked	CW	Date	MARCH 2024
Title		LEVEL 9-15	

Project No. 23-109 Drawing No. **A212**



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

1  
A483

1  
A484

1  
A485

STREET A

1  
A475

1  
A477

1  
A481

1  
A481

1  
A474

1  
A476

1  
A472

1  
A478

STREET B

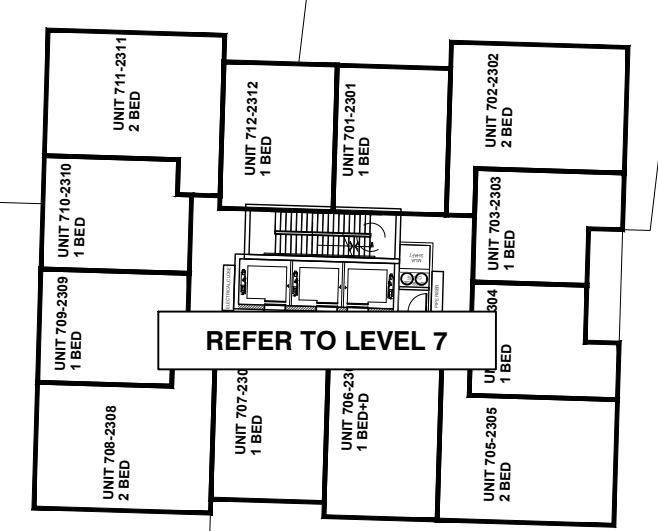
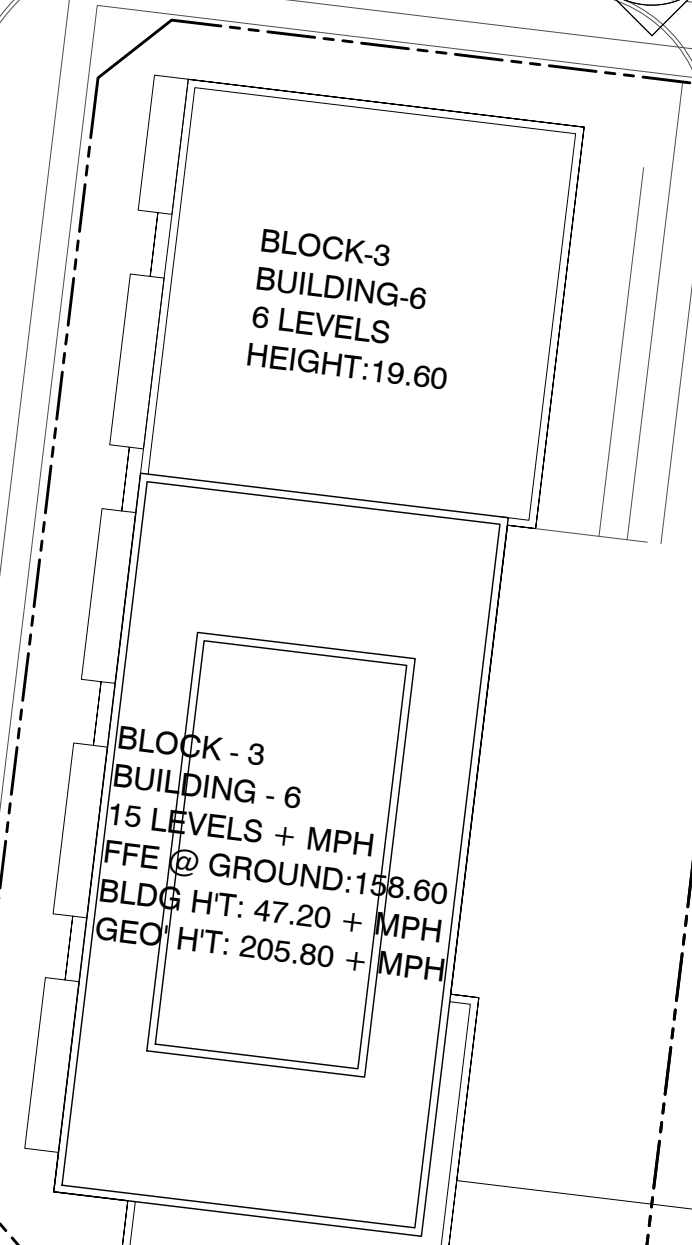
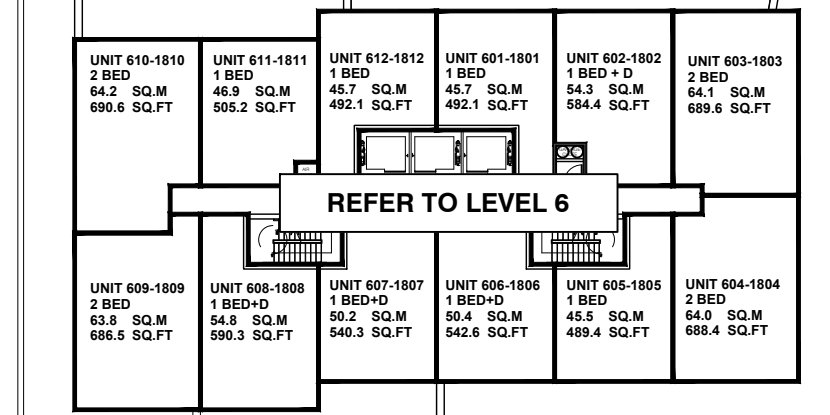
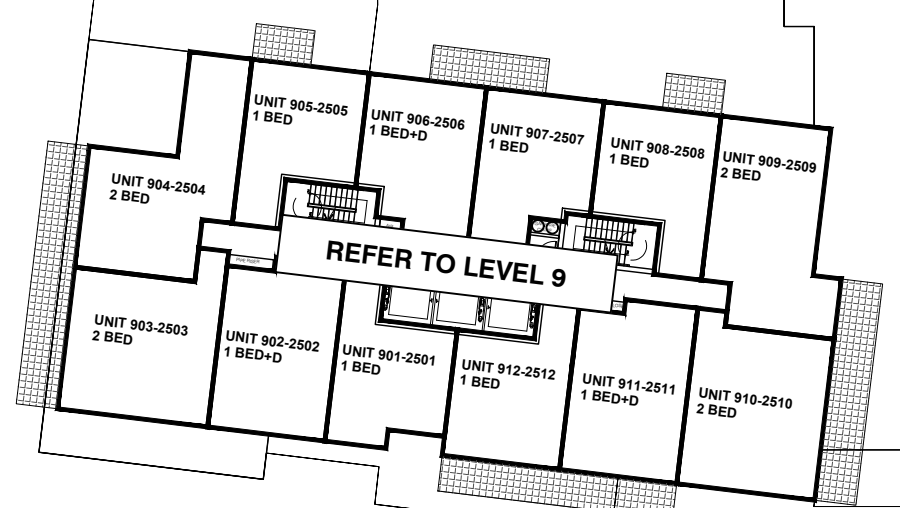
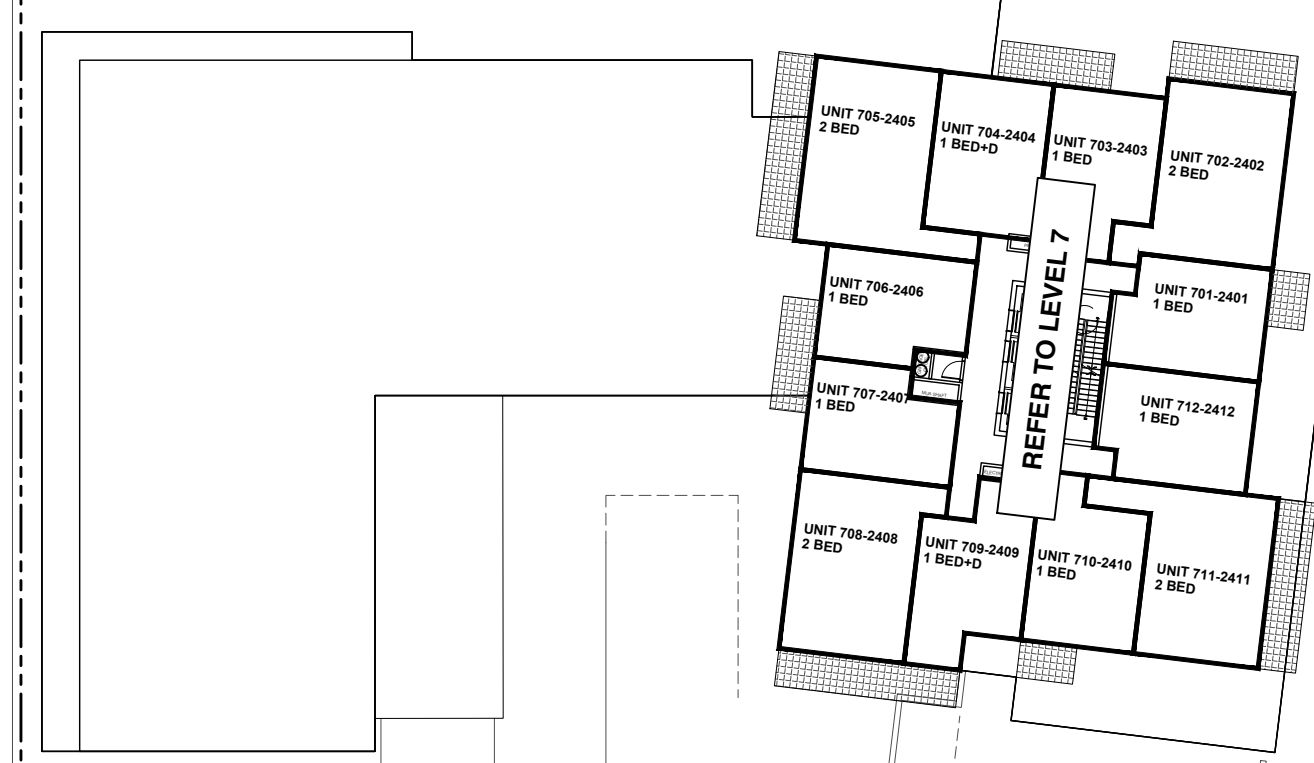
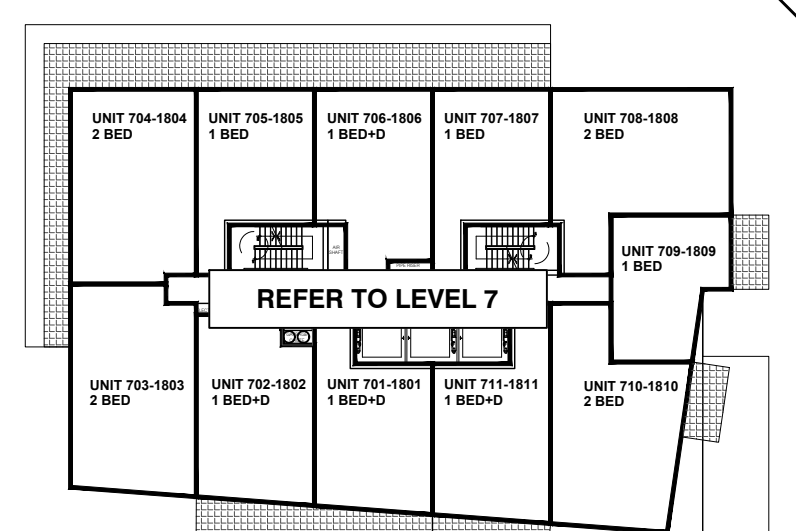
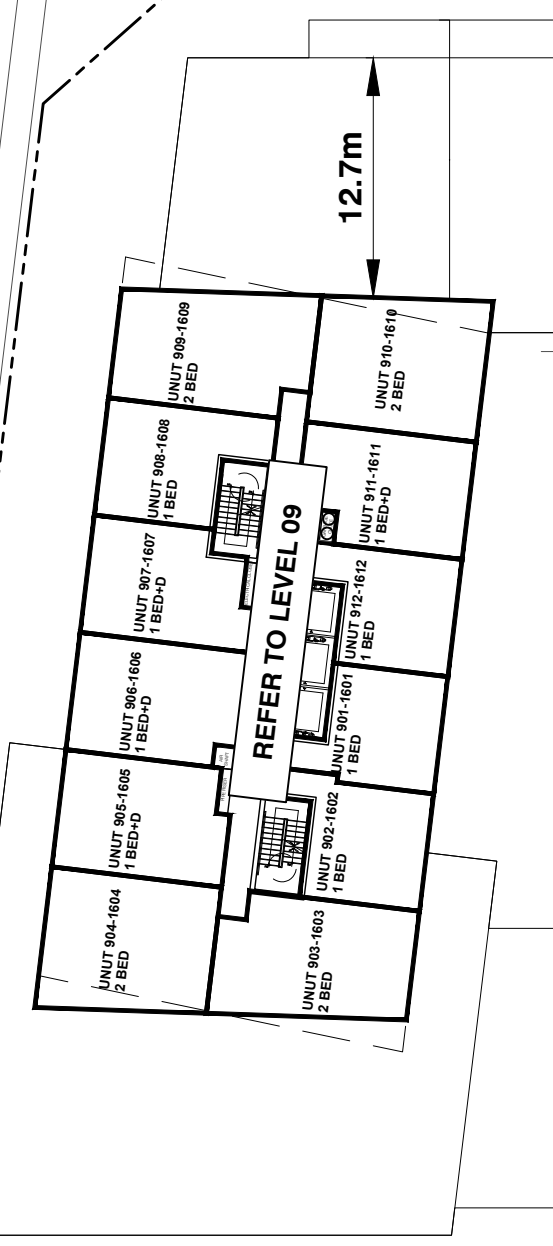
1  
A480

1  
A471

1  
A484

1  
A485

NEYAGAWA BOULEVARD



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NO.	REVISIONS	DATE

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Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024
Title LEVEL 16	



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

1  
A483

1  
A484

1  
A485

STREET A

1  
A475

1  
A477

1  
A481

1  
A474

1  
A476

1  
A472

1  
A478

STREET B

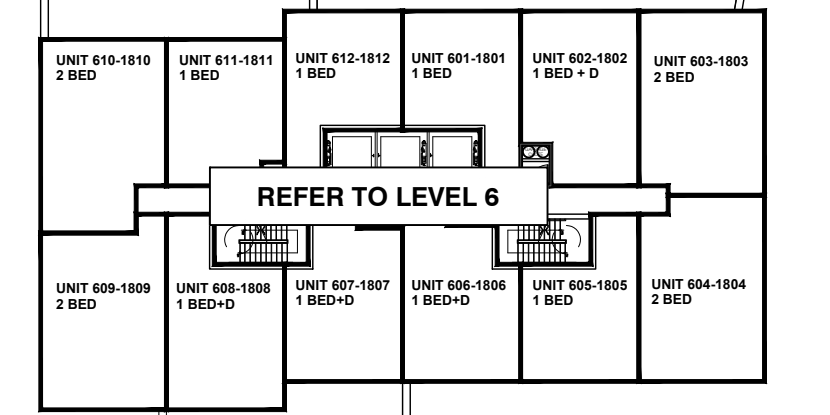
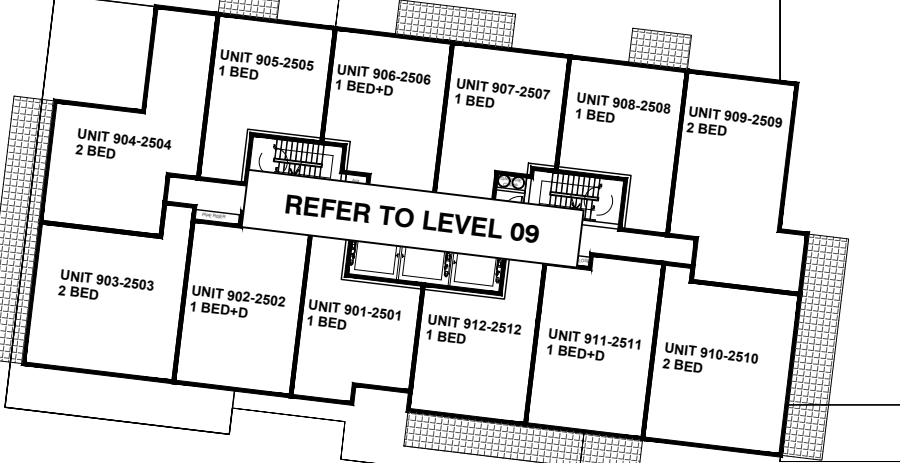
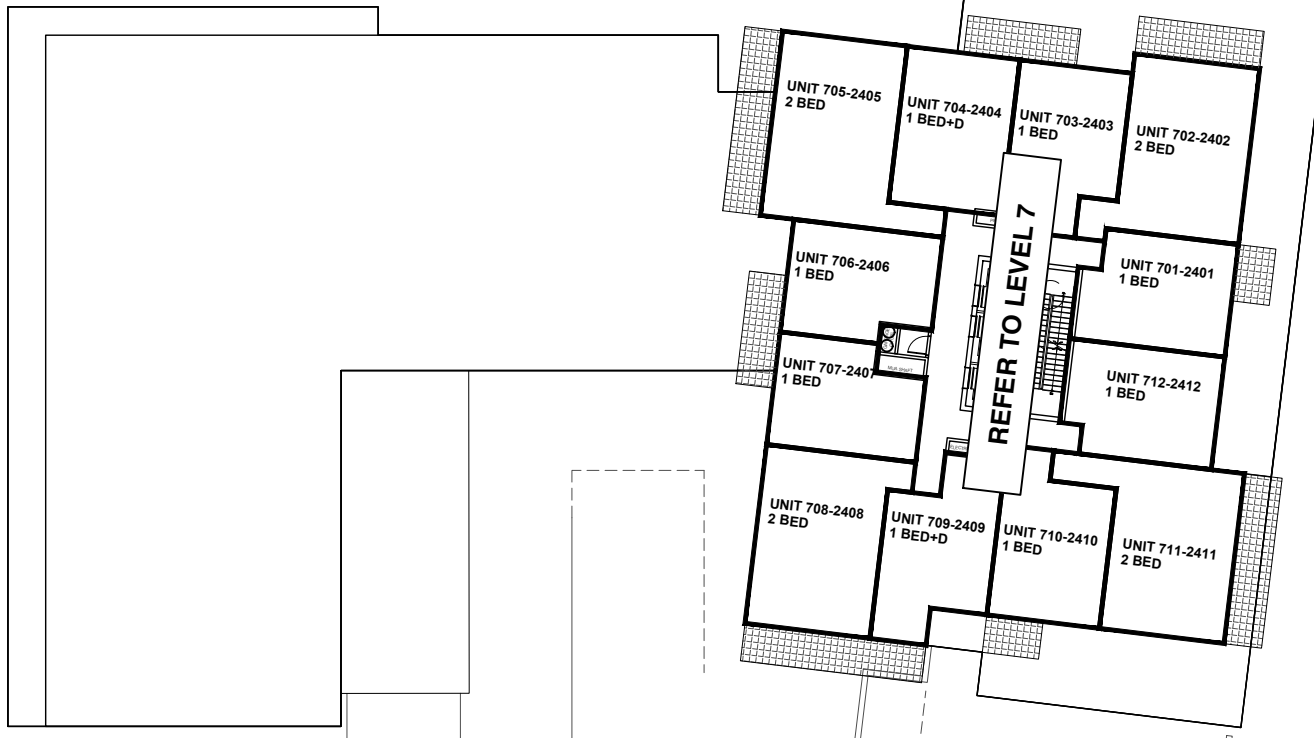
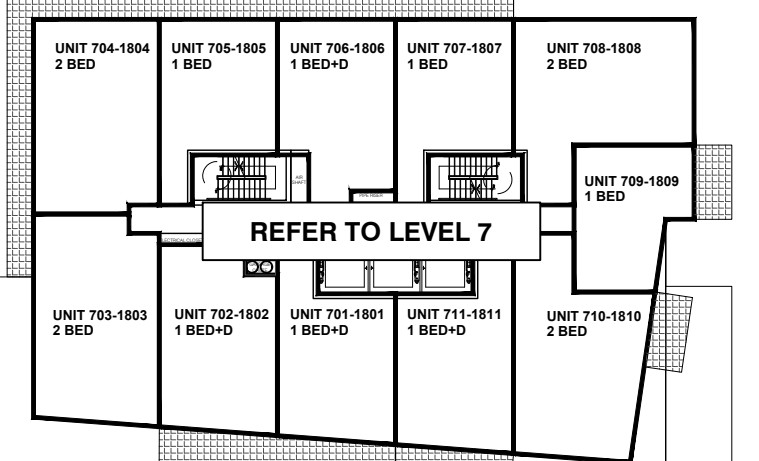
1  
A480

1  
A471

1  
A484

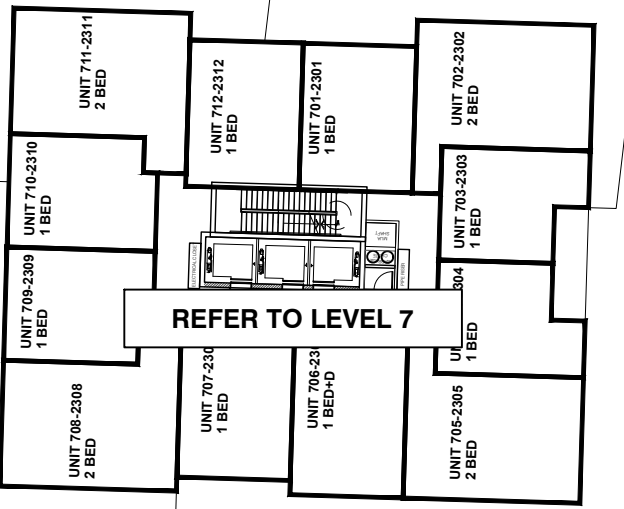
1  
A485

NEYAGAWA BOULEVARD



BLOCK-3  
BUILDING-6  
6 LEVELS  
HEIGHT:19.60

BLOCK - 3  
BUILDING - 6  
15 LEVELS + MPH  
FFE @ GROUND:158.60  
BLDG HT: 47.20 + MPH  
GEO HT: 205.80 + MPH



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Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024
Title LEVEL 17	



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

1  
A483

1  
A484

1  
A485

STREET A

1  
A475

1  
A474

1  
A477

STREET C  
1  
A476

1  
A478  
STREET B

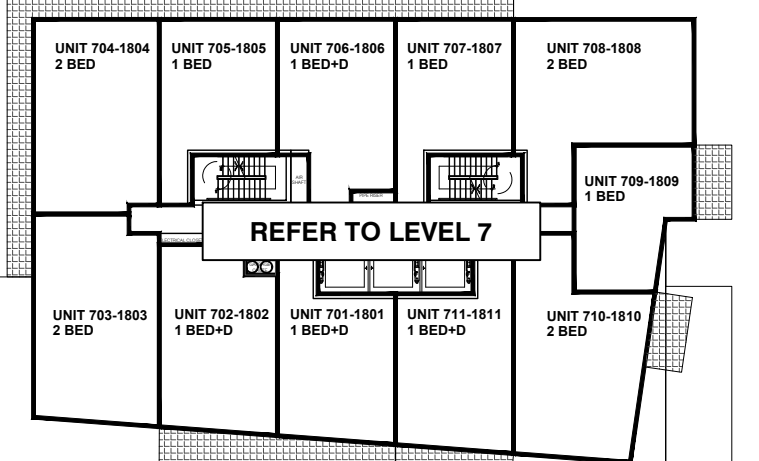
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A480

1  
A483

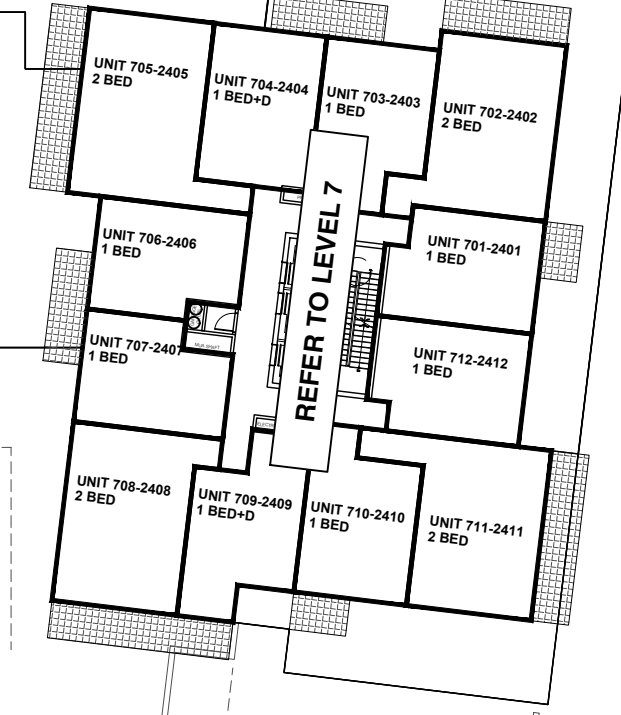
1  
A471  
NEYAGAWA BOULEVARD

1  
A484

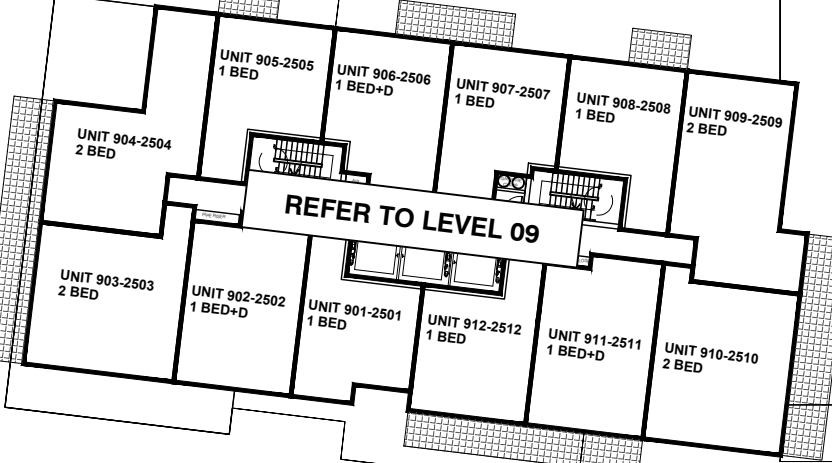
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A485



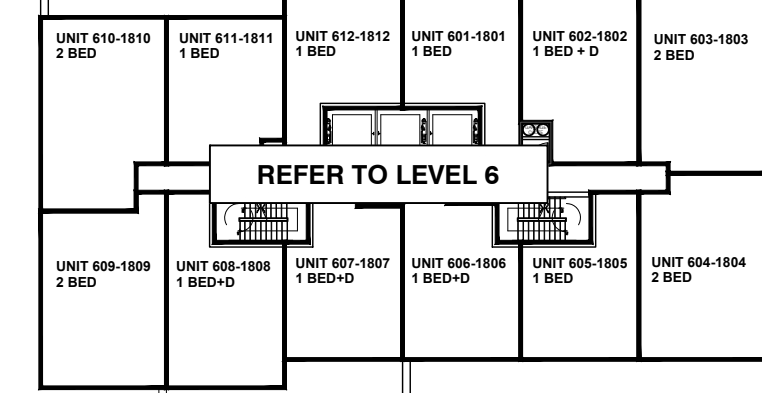
REFER TO LEVEL 7



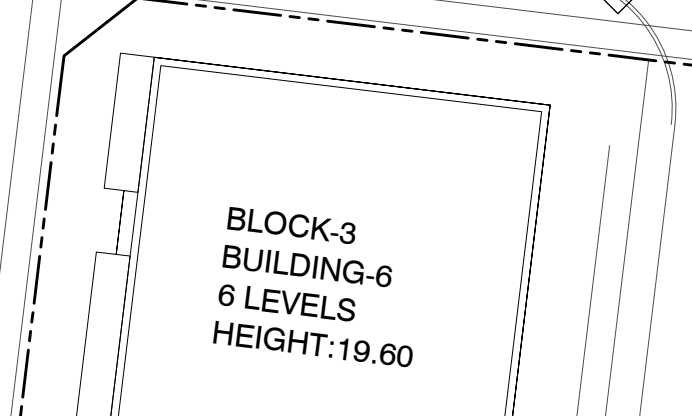
REFER TO LEVEL 7



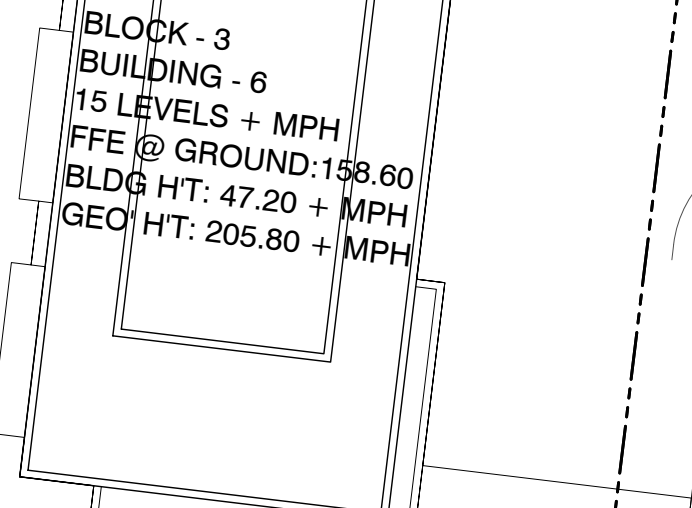
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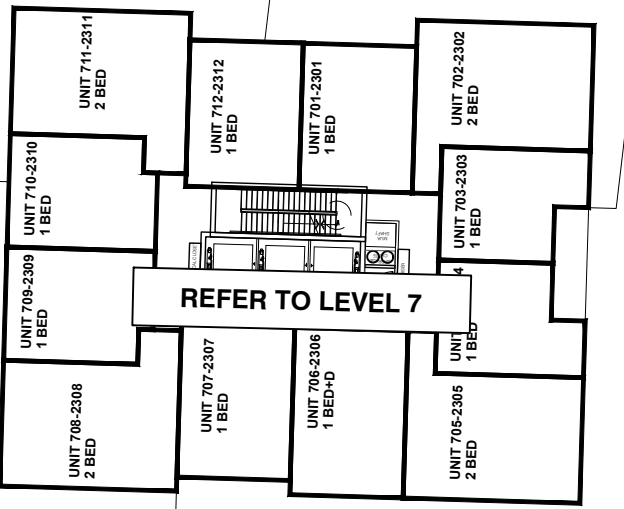
REFER TO LEVEL 6



BLOCK-3  
BUILDING-6  
6 LEVELS  
HEIGHT:19.60



BLOCK - 3  
BUILDING - 6  
15 LEVELS + MPH  
FFE @ GROUND:158.60  
BLDG HT: 47.20 + MPH  
GEO HT: 205.80 + MPH



REFER TO LEVEL 7

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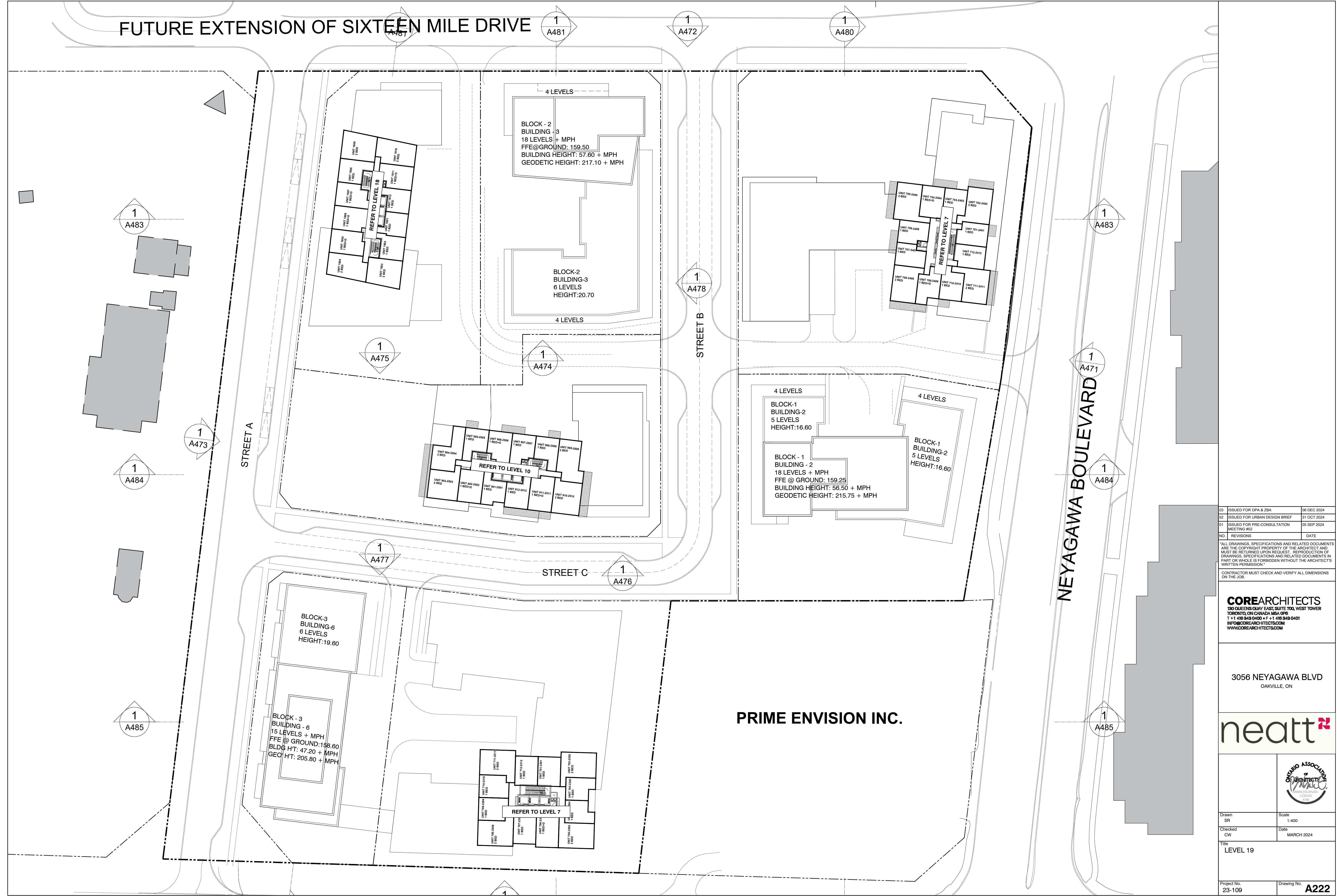
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Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024
Title LEVEL 18	



FUTURE EXTENSION OF SIXTEEN MILE DRIVE



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Drawn	SR	Scale	1:400
Checked	CW	Date	MARCH 2024
Title	LEVEL 19		



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

1  
A483

1  
A484

1  
A485

STREET A

STREET B

STREET C

NEYAGAWA BOULEVARD

PRIME ENVISION INC.

BLOCK-2  
BUILDING-4  
8 LEVELS  
HEIGHT:26.80

BLOCK-2  
BUILDING-3  
18 LEVELS + MPH  
FFE@ GROUND: 159.50  
BUILDING HEIGHT: 57.60 + MPH  
GEODETIC HEIGHT: 217.10 + MPH

BLOCK-1  
BUILDING-1  
6 LEVELS  
HEIGHT:20.70

BLOCK-2  
BUILDING-4  
24 LEVELS MPH  
FFE@ GROUND:189.15  
BLDG HT: 76 + MPH  
GEO HT: 235.15 + MPH

BLOCK-2  
BUILDING-4  
6 LEVELS  
HEIGHT:20.80

BLOCK-2  
BUILDING-3  
6 LEVELS  
HEIGHT:20.70

BLOCK-1  
BUILDING-1  
6 LEVELS  
HEIGHT:20.70

BLOCK-1  
BUILDING-1  
28 LEVELS + MPH  
FFE @ GROUND: 159.55  
BLDG HT: 82.20 + MPH  
GEO HT: 241.75 + MPH

BLOCK-2  
BUILDING-5  
6 LEVELS  
HEIGHT: 19.90

BLOCK-2  
BUILDING-2  
28 LEVELS + MPH  
FFE @ GROUND: 159  
BUILDING HEIGHT: 88.30 + MPH  
GEODETIC HEIGHT: 247.30 + MPH

BLOCK-2  
BUILDING-5  
8 LEVELS  
HEIGHT:26.50

BLOCK-1  
BUILDING-2  
5 LEVELS  
HEIGHT:16.60

BLOCK-1  
BUILDING-2  
18 LEVELS + MPH  
FFE @ GROUND: 159.25  
BUILDING HEIGHT: 56.50 + MPH  
GEODETIC HEIGHT: 215.75 + MPH

BLOCK-1  
BUILDING-2  
5 LEVELS  
HEIGHT:16.60

BLOCK-3  
BUILDING-6  
6 LEVELS  
HEIGHT:19.60

BLOCK-3  
BUILDING-6  
15 LEVELS + MPH  
FFE @ GROUND:188.60  
BLDG HT: 47.20 + MPH  
GEO HT: 205.80 + MPH

BLOCK-3  
BUILDING-7  
6 LEVELS  
HEIGHT:20.60

BLOCK-3  
BUILDING-7  
25 LEVELS + MPH  
FFE @ GROUND: 158.75  
BLDG HT: 79.40 + MPH  
GEO HT: 238.15 + MPH

BLOCK-3  
BUILDING-7  
6 LEVELS  
HEIGHT:20.60

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Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024

Title  
LEVEL ROOF



FUTURE EXTENSION OF SIXTEEN MILE DRIVE

1  
A483

1  
A484

1  
A485

STREET A

1  
A475

1  
A477

1  
A474

STREET C  
1  
A476

1  
A481

1  
A472

1  
A478

STREET B

1  
A480

1  
A483

1  
A471

1  
A484

1  
A485

NEYAGAWA BOULEVARD

4 LEVELS  
BLOCK - 2  
BUILDING - 3  
18 LEVELS + MPH  
FFE@GROUND: 159.50  
BUILDING HEIGHT: 57.60 + MPH  
GEODETIC HEIGHT: 217.10 + MPH

BLOCK-2  
BUILDING-3  
6 LEVELS  
HEIGHT:20.70  
4 LEVELS

REFER TO LEVEL 10  
UNIT 904-2504 2 BED  
UNIT 904-2505 2 BED  
UNIT 904-2506 1 BED  
UNIT 904-2507 1 BED  
UNIT 904-2508 1 BED  
UNIT 904-2509 2 BED  
UNIT 904-2510 2 BED  
UNIT 904-2511 1 BED  
UNIT 904-2512 1 BED  
UNIT 904-2513 1 BED  
UNIT 904-2514 1 BED  
UNIT 904-2515 1 BED  
UNIT 904-2516 1 BED  
UNIT 904-2517 1 BED  
UNIT 904-2518 1 BED  
UNIT 904-2519 1 BED  
UNIT 904-2520 1 BED

4 LEVELS  
BLOCK-1  
BUILDING-2  
5 LEVELS  
HEIGHT:16.60

BLOCK - 1  
BUILDING - 2  
18 LEVELS + MPH  
FFE @ GROUND: 159.25  
BUILDING HEIGHT: 56.50 + MPH  
GEODETIC HEIGHT: 215.75 + MPH

4 LEVELS  
BLOCK-1  
BUILDING-2  
5 LEVELS  
HEIGHT:16.60

BLOCK-3  
BUILDING-6  
6 LEVELS  
HEIGHT:19.60

BLOCK - 3  
BUILDING - 6  
15 LEVELS + MPH  
FFE @ GROUND:158.60  
BLDG HT: 47.20 + MPH  
GEO HT: 205.80 + MPH

UNIT 2404-2000 1 BED  
UNIT 2404-2001 1 BED  
UNIT 2404-2002 1 BED  
UNIT 2404-2003 1 BED  
UNIT 2404-2004 1 BED  
UNIT 2404-2005 1 BED  
UNIT 2404-2006 1 BED  
UNIT 2404-2007 1 BED  
UNIT 2404-2008 1 BED  
UNIT 2404-2009 1 BED  
UNIT 2404-2010 1 BED  
UNIT 2404-2011 1 BED  
UNIT 2404-2012 1 BED  
UNIT 2404-2013 1 BED  
UNIT 2404-2014 1 BED  
UNIT 2404-2015 1 BED  
UNIT 2404-2016 1 BED  
UNIT 2404-2017 1 BED  
UNIT 2404-2018 1 BED  
UNIT 2404-2019 1 BED  
UNIT 2404-2020 1 BED

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Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024
Title LEVEL 24	







FUTURE EXTENSION OF SIXTEEN MILE DRIVE

1  
A483

1  
A484

1  
A485

STREET A

6 LEVELS  
BLOCK-2  
BUILDING-4  
8 LEVELS  
HEIGHT:26.80

5 LEVELS  
BLOCK - 2  
BUILDING - 4  
24 LEVELS MPH  
FFE@ GROUND:189.15  
BLDG HT: 76 + MPH  
GEO HT: 235.15 + MPH

BLOCK-2  
BUILDING-4  
6 LEVELS  
HEIGHT:20.80

1  
A475

4 LEVELS  
BLOCK - 2  
BUILDING - 3  
18 LEVELS + MPH  
FFE@GROUND: 159.50  
BUILDING HEIGHT: 57.60 + MPH  
GEODETIC HEIGHT: 217.10 + MPH

BLOCK-2  
BUILDING-3  
6 LEVELS  
HEIGHT:20.70

1  
A474

UNIT 2503-2503  
2 BED  
UNIT 2504-2504  
1 BED  
UNIT 2505-2505  
1 BED  
UNIT 2506-2506  
2 BED  
UNIT 2507-2507  
2 BED  
UNIT 2508-2508  
1 BED  
UNIT 2509-2509  
1 BED  
UNIT 2510-2510  
1 BED  
UNIT 2511-2511  
1 BED  
UNIT 2512-2512  
1 BED  
UNIT 2513-2513  
1 BED  
UNIT 2514-2514  
1 BED  
UNIT 2515-2515  
1 BED  
UNIT 2516-2516  
1 BED  
UNIT 2517-2517  
1 BED  
UNIT 2518-2518  
1 BED  
UNIT 2519-2519  
1 BED  
UNIT 2520-2520  
1 BED  
UNIT 2521-2521  
1 BED  
UNIT 2522-2522  
1 BED  
UNIT 2523-2523  
1 BED  
UNIT 2524-2524  
1 BED  
UNIT 2525-2525  
1 BED  
UNIT 2526-2526  
1 BED  
UNIT 2527-2527  
1 BED  
UNIT 2528-2528  
1 BED  
UNIT 2529-2529  
1 BED  
UNIT 2530-2530  
1 BED  
UNIT 2531-2531  
1 BED  
UNIT 2532-2532  
1 BED  
UNIT 2533-2533  
1 BED  
UNIT 2534-2534  
1 BED  
UNIT 2535-2535  
1 BED  
UNIT 2536-2536  
1 BED  
UNIT 2537-2537  
1 BED  
UNIT 2538-2538  
1 BED  
UNIT 2539-2539  
1 BED  
UNIT 2540-2540  
1 BED  
UNIT 2541-2541  
1 BED  
UNIT 2542-2542  
1 BED  
UNIT 2543-2543  
1 BED  
UNIT 2544-2544  
1 BED  
UNIT 2545-2545  
1 BED  
UNIT 2546-2546  
1 BED  
UNIT 2547-2547  
1 BED  
UNIT 2548-2548  
1 BED  
UNIT 2549-2549  
1 BED  
UNIT 2550-2550  
1 BED

1  
A477

STREET C

BLOCK-3  
BUILDING-6  
6 LEVELS  
HEIGHT:19.60

BLOCK - 3  
BUILDING - 6  
15 LEVELS + MPH  
FFE @ GROUND:158.60  
BLDG HT: 47.20 + MPH  
GEO HT: 205.80 + MPH

BLOCK-3  
BUILDING-7  
6 LEVELS  
HEIGHT:20.60

BLOCK - 3  
BUILDING - 7  
25 LEVELS + MPH  
FFE @ GROUND: 158.75  
BLDG HT: 79.40 + MPH  
GEO HT: 238.15 + MPH

BLOCK-3  
BUILDING-7  
6 LEVELS  
HEIGHT:20.60

23 LEVELS  
BLOCK - 3  
BUILDING - 7  
25 LEVELS + MPH  
FFE @ GROUND: 158.75  
BLDG HT: 79.40 + MPH  
GEO HT: 238.15 + MPH

1  
A476

STREET B

1  
A478

4 LEVELS  
BLOCK-1  
BUILDING-2  
5 LEVELS  
HEIGHT:16.60

BLOCK - 1  
BUILDING - 2  
18 LEVELS + MPH  
FFE @ GROUND: 159.25  
BUILDING HEIGHT: 56.50 + MPH  
GEODETIC HEIGHT: 215.75 + MPH

UNIT 2504-2504  
2 BED  
UNIT 2505-2505  
2 BED  
UNIT 2506-2506  
1 BED  
UNIT 2507-2507  
1 BED  
UNIT 2508-2508  
1 BED  
UNIT 2509-2509  
1 BED  
UNIT 2510-2510  
1 BED  
UNIT 2511-2511  
1 BED  
UNIT 2512-2512  
1 BED  
UNIT 2513-2513  
1 BED  
UNIT 2514-2514  
1 BED  
UNIT 2515-2515  
1 BED  
UNIT 2516-2516  
1 BED  
UNIT 2517-2517  
1 BED  
UNIT 2518-2518  
1 BED  
UNIT 2519-2519  
1 BED  
UNIT 2520-2520  
1 BED  
UNIT 2521-2521  
1 BED  
UNIT 2522-2522  
1 BED  
UNIT 2523-2523  
1 BED  
UNIT 2524-2524  
1 BED  
UNIT 2525-2525  
1 BED  
UNIT 2526-2526  
1 BED  
UNIT 2527-2527  
1 BED  
UNIT 2528-2528  
1 BED  
UNIT 2529-2529  
1 BED  
UNIT 2530-2530  
1 BED  
UNIT 2531-2531  
1 BED  
UNIT 2532-2532  
1 BED  
UNIT 2533-2533  
1 BED  
UNIT 2534-2534  
1 BED  
UNIT 2535-2535  
1 BED  
UNIT 2536-2536  
1 BED  
UNIT 2537-2537  
1 BED  
UNIT 2538-2538  
1 BED  
UNIT 2539-2539  
1 BED  
UNIT 2540-2540  
1 BED  
UNIT 2541-2541  
1 BED  
UNIT 2542-2542  
1 BED  
UNIT 2543-2543  
1 BED  
UNIT 2544-2544  
1 BED  
UNIT 2545-2545  
1 BED  
UNIT 2546-2546  
1 BED  
UNIT 2547-2547  
1 BED  
UNIT 2548-2548  
1 BED  
UNIT 2549-2549  
1 BED  
UNIT 2550-2550  
1 BED

4 LEVELS  
BLOCK-1  
BUILDING-2  
5 LEVELS  
HEIGHT:16.60

BLOCK-1  
BUILDING-2  
5 LEVELS  
HEIGHT:16.60

1  
A471

NEYAGAWA BOULEVARD

1  
A484

1  
A485

PRIME ENVISION INC.

03	ISSUED FOR OPA & ZBA	06 DEC 2024
02	ISSUED FOR URBAN DESIGN BRIEF	31 OCT 2024
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	MEETING #02	
NO.	REVISIONS	DATE

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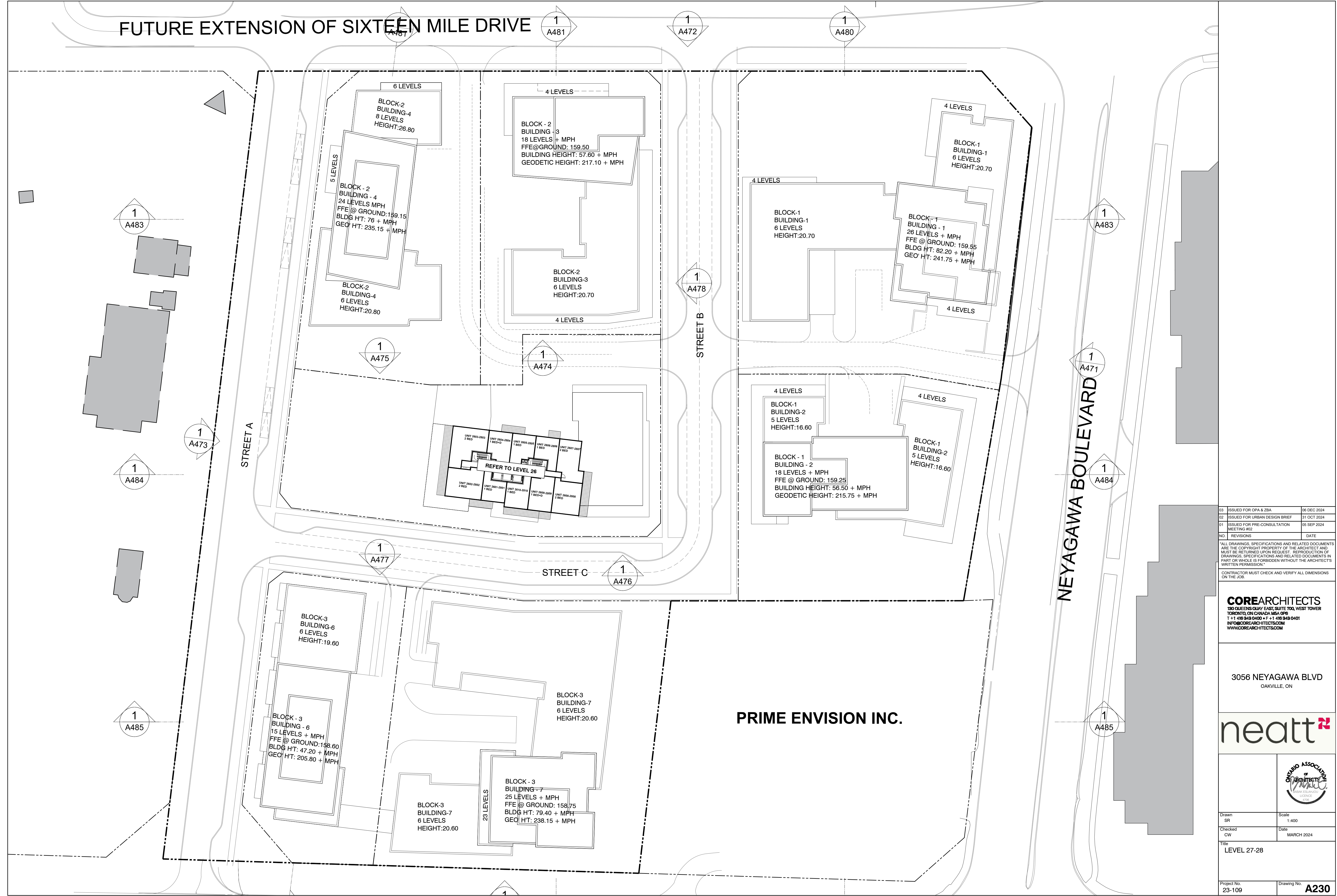
neatt



Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024
Title LEVEL 26	



FUTURE EXTENSION OF SIXTEEN MILE DRIVE



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Title  
LEVEL 27-28





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	MEETING #02	

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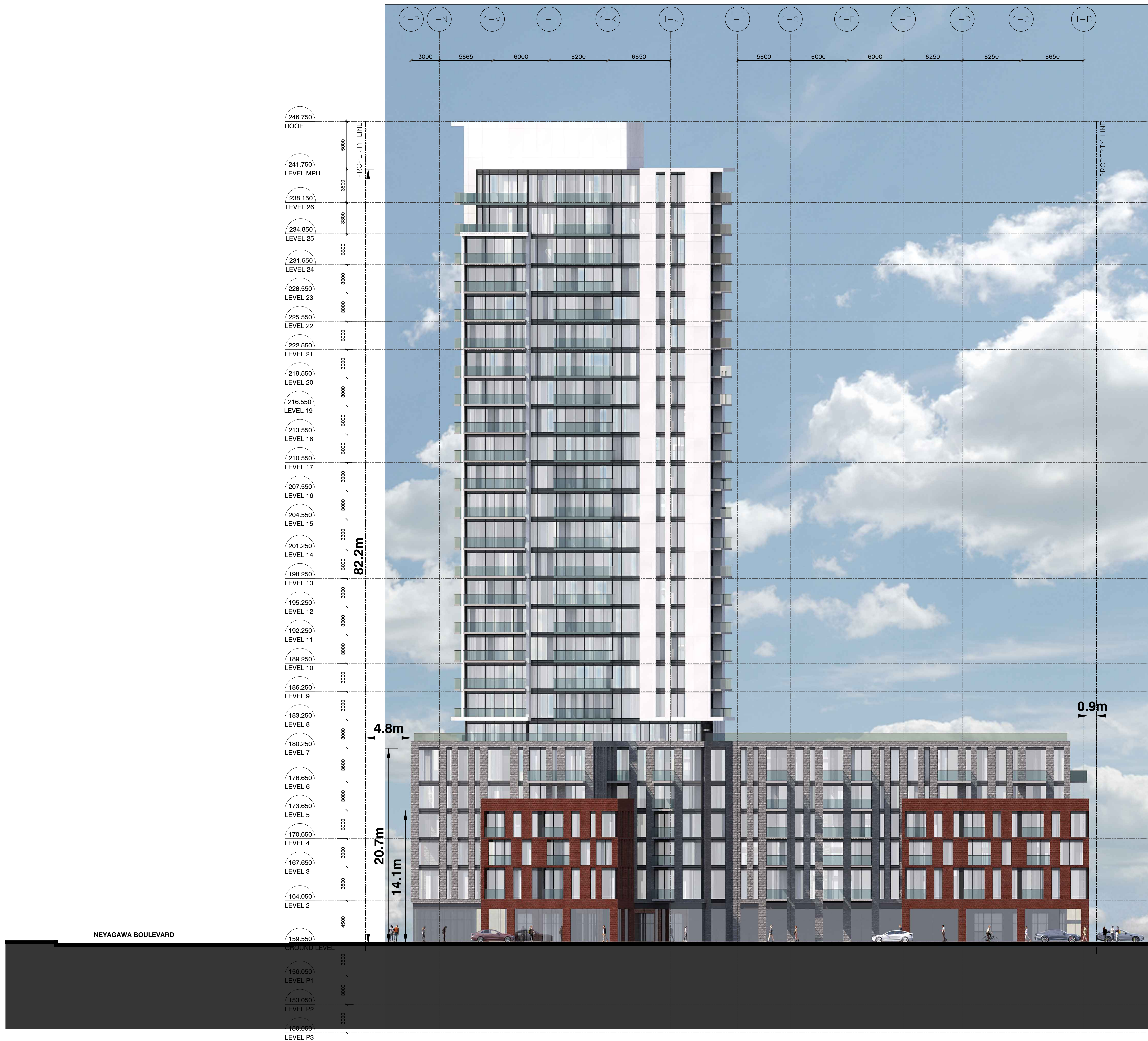
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Drawn SR	Scale 1:200
Checked CW	Date MAY 2024

Title  
BUILDING 1-SOUTH ELEVATION





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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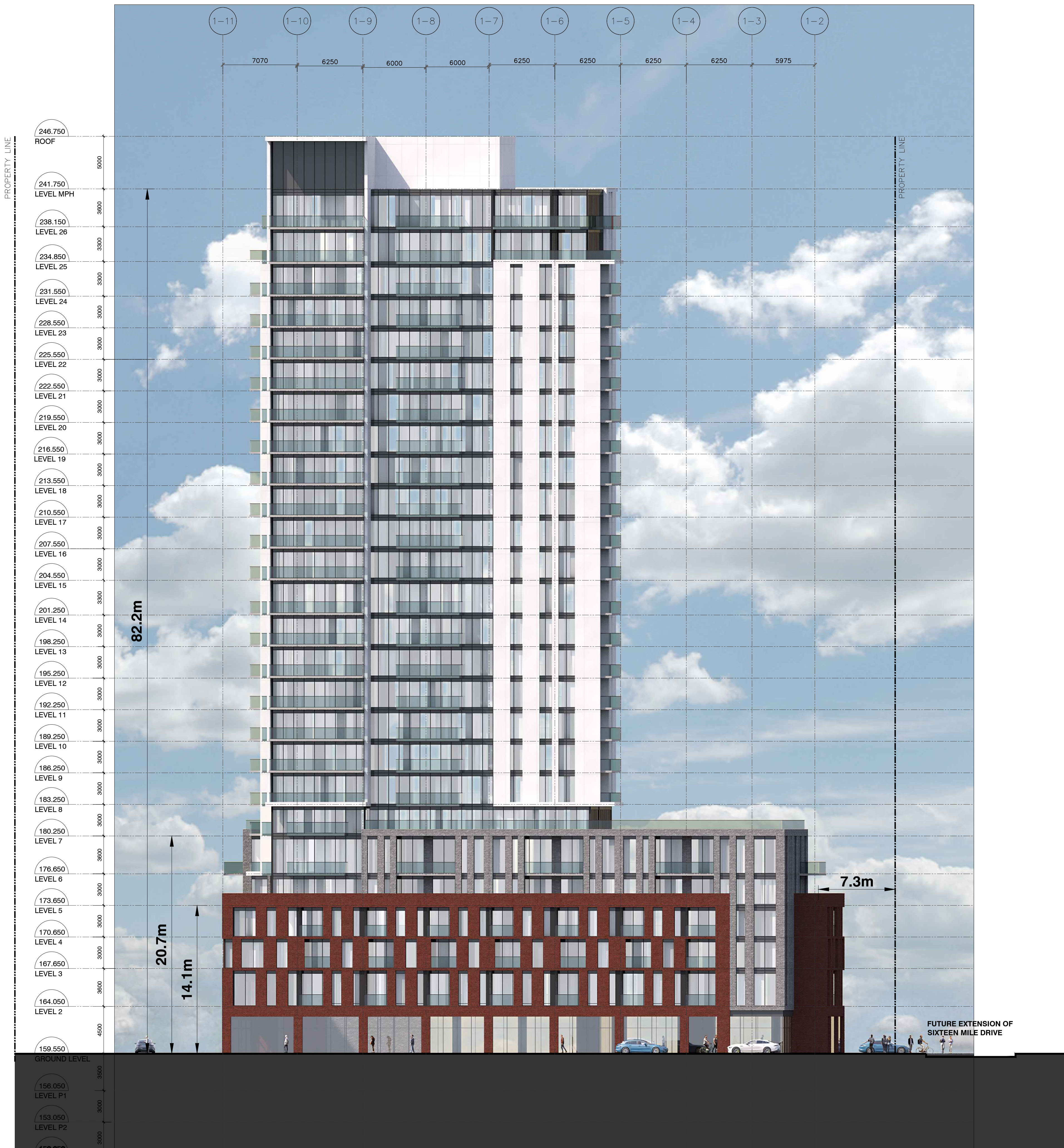
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Drawn SR	Scale 1:200
Checked CW	Date MAY 2024

Title  
BUILDING 1-NORTH ELEVATION





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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Title  
**BUILDING 1-EAST ELEVATION**









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Title  
**BUILDING 2-SOUTH ELEVATION**





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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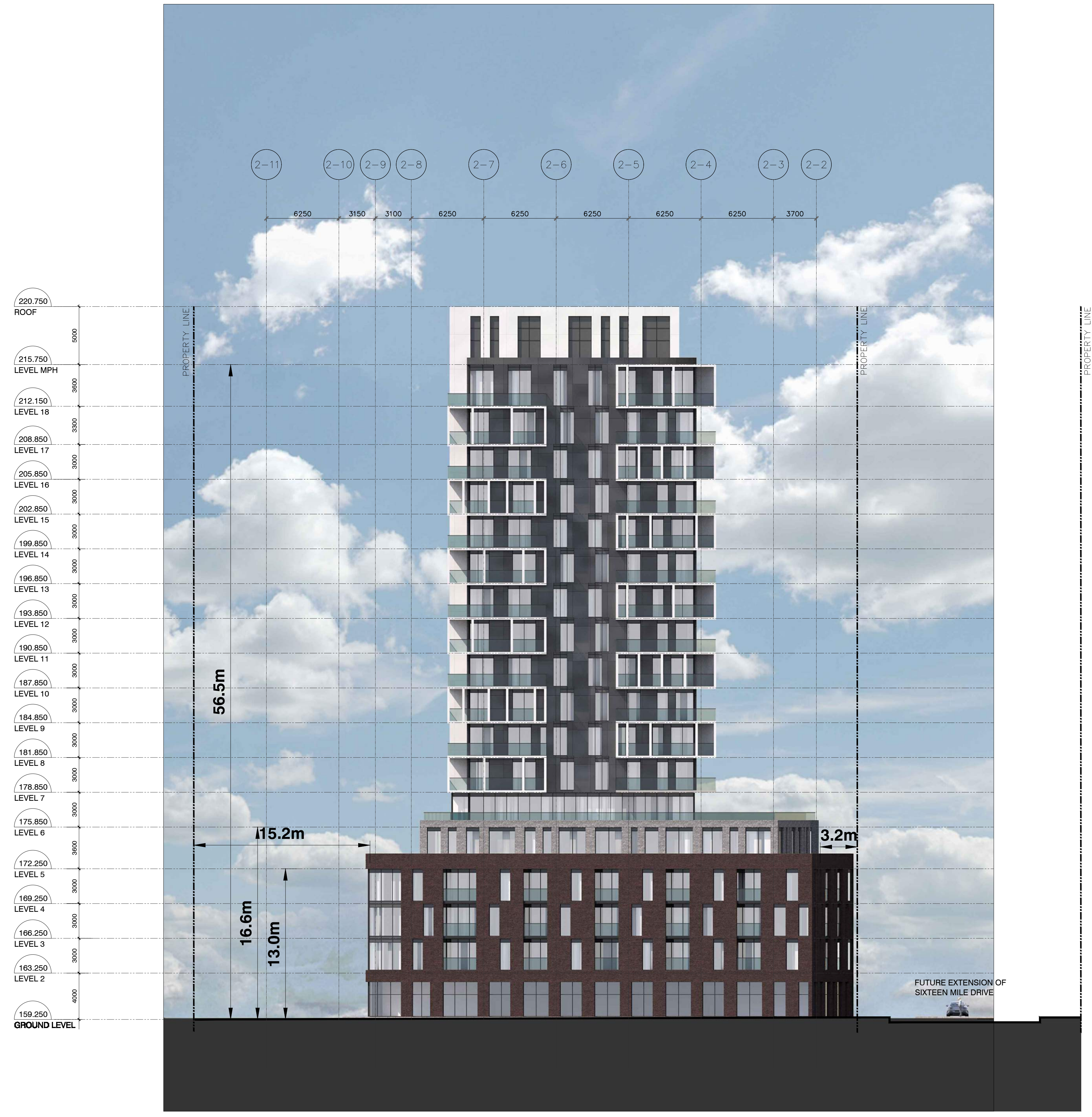
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Title  
BUILDING 2-NORTH ELEVATION





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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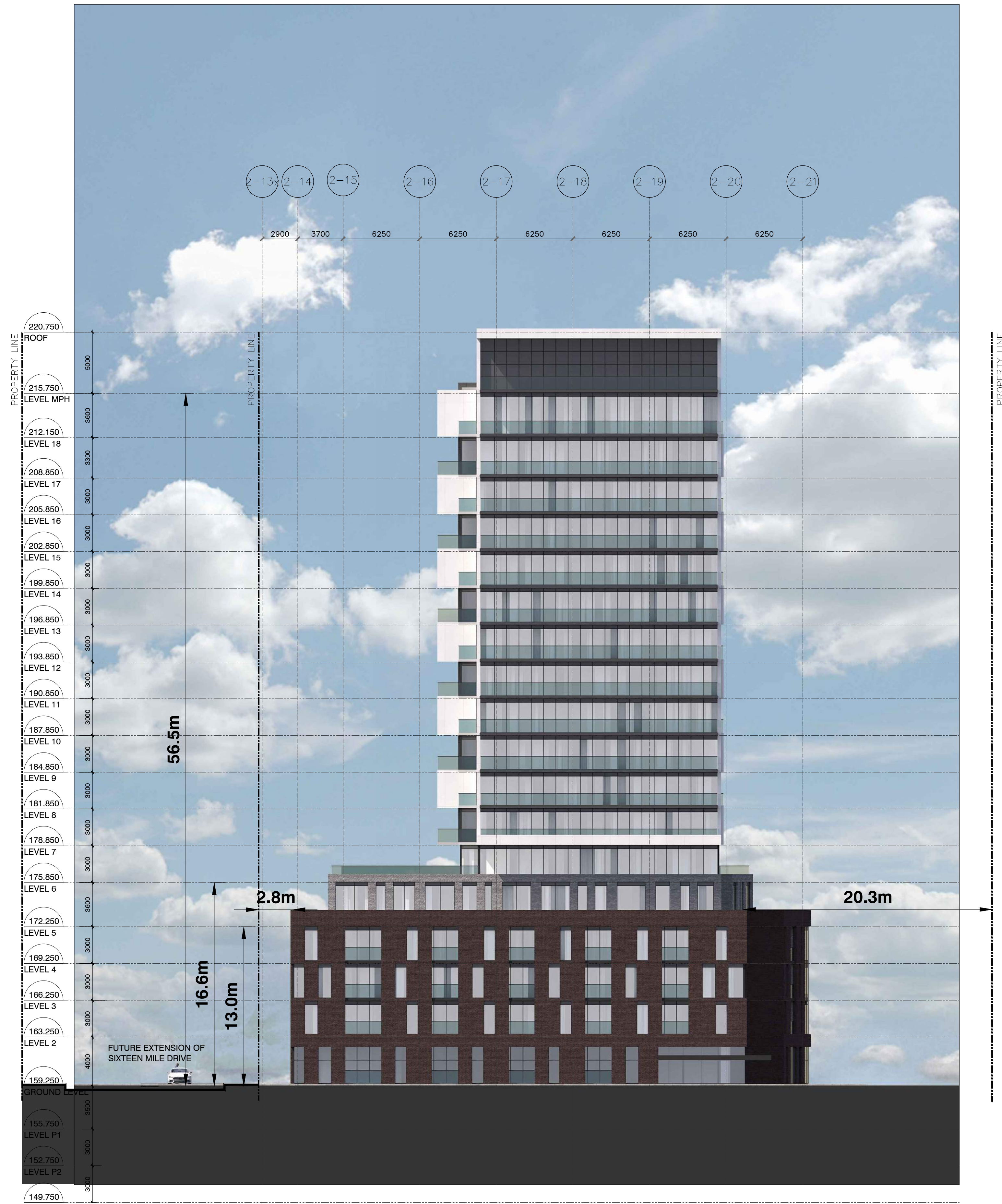
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Checked CW	Date MAY 2024

Title  
**BUILDING 2-EAST ELEVATION**

Project No.  
23-109

Drawing No.  
**A412**





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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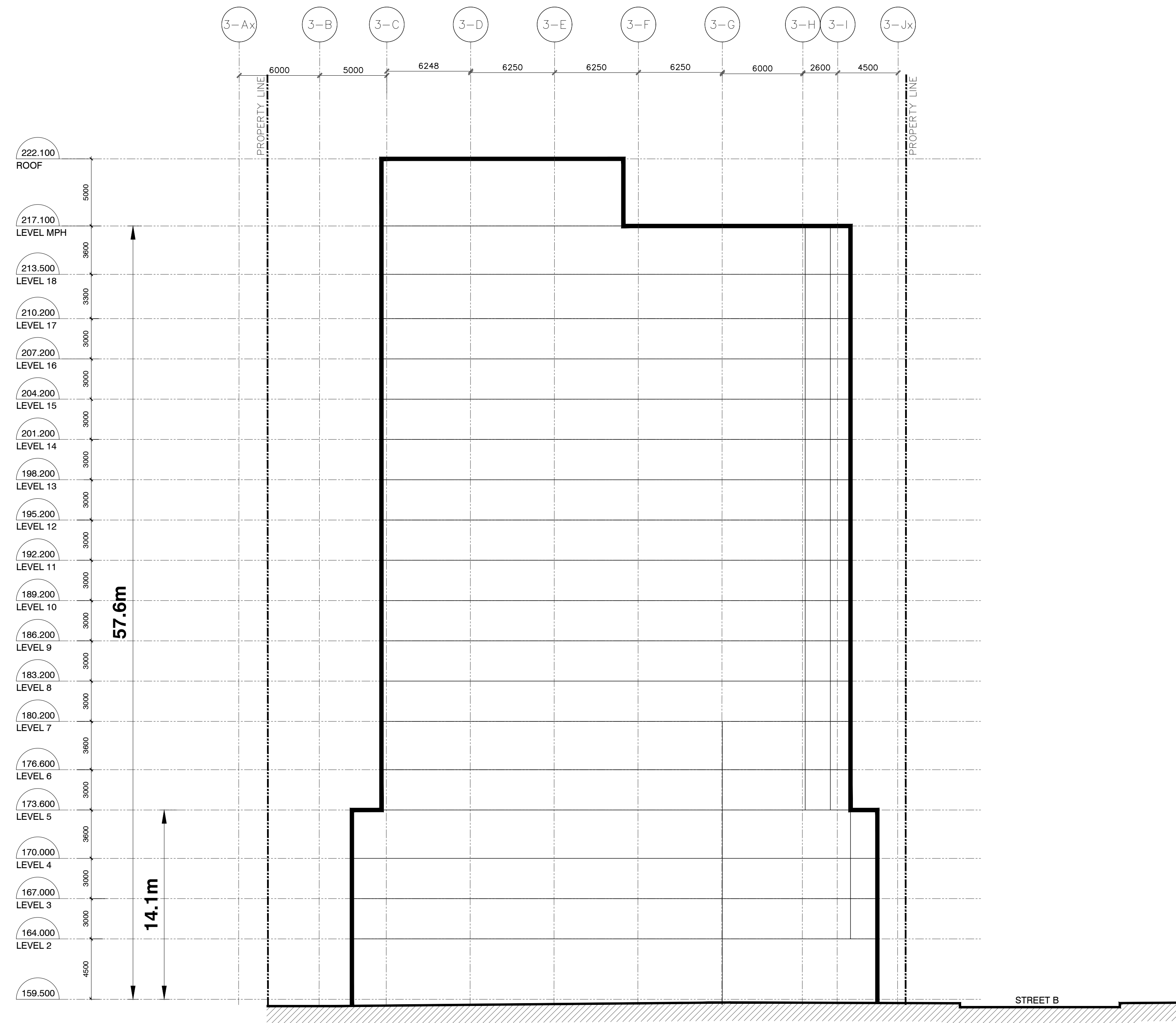


Drawn SR	Scale 1:200
Checked CW	Date MAY 2024

Title  
**BUILDING 2-WEST ELEVATION**

Project No. 23-109	Drawing No. <b>A413</b>
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03	ISSUED FOR OPA & ZBA	06 DEC 2024
02	ISSUED FOR URBAN DESIGN BRIEF	31 OCT 2024
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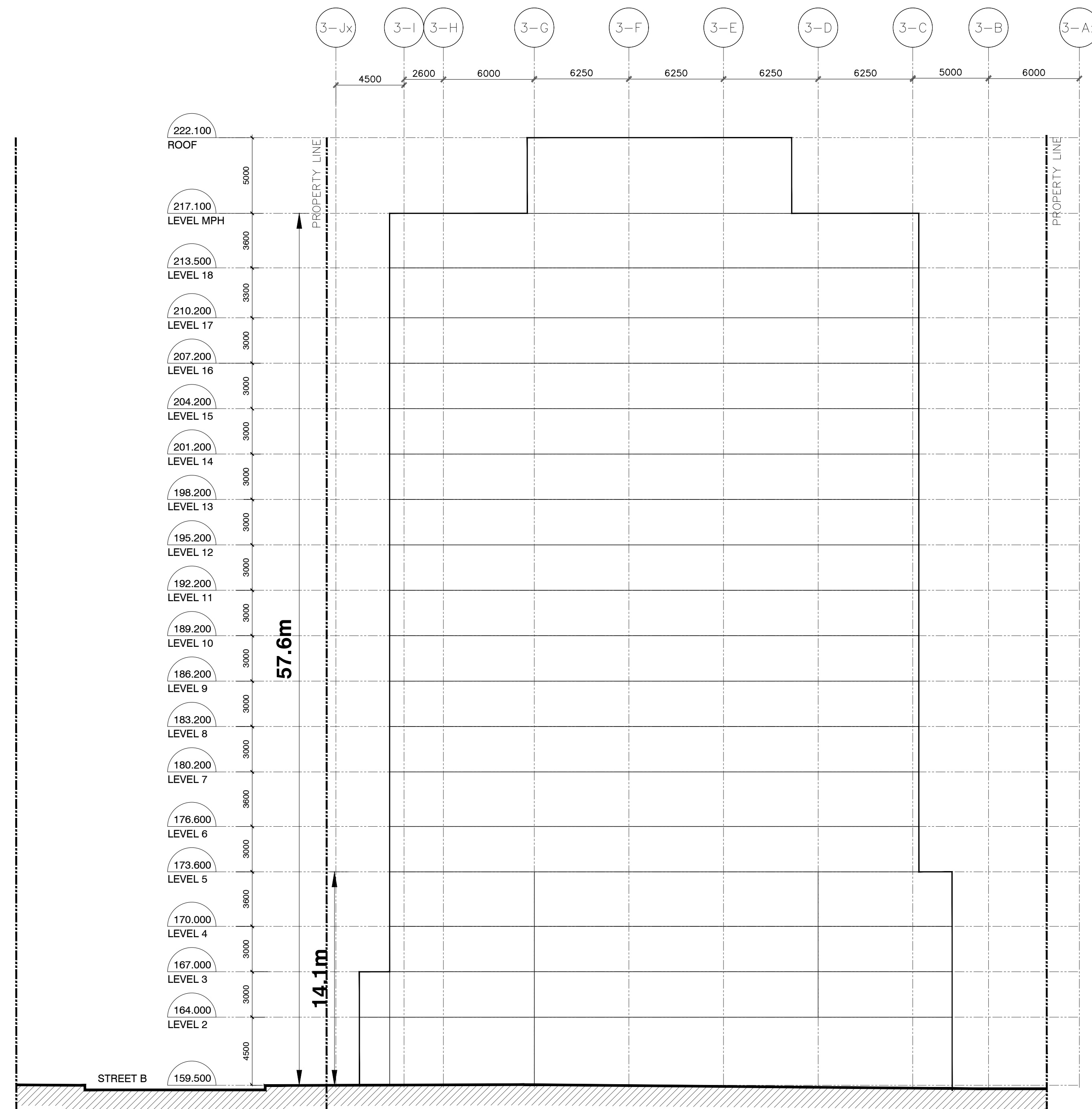
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Drawn SR	Scale 1:200
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Title  
**BUILDING 3-SOUTH ELEVATION**





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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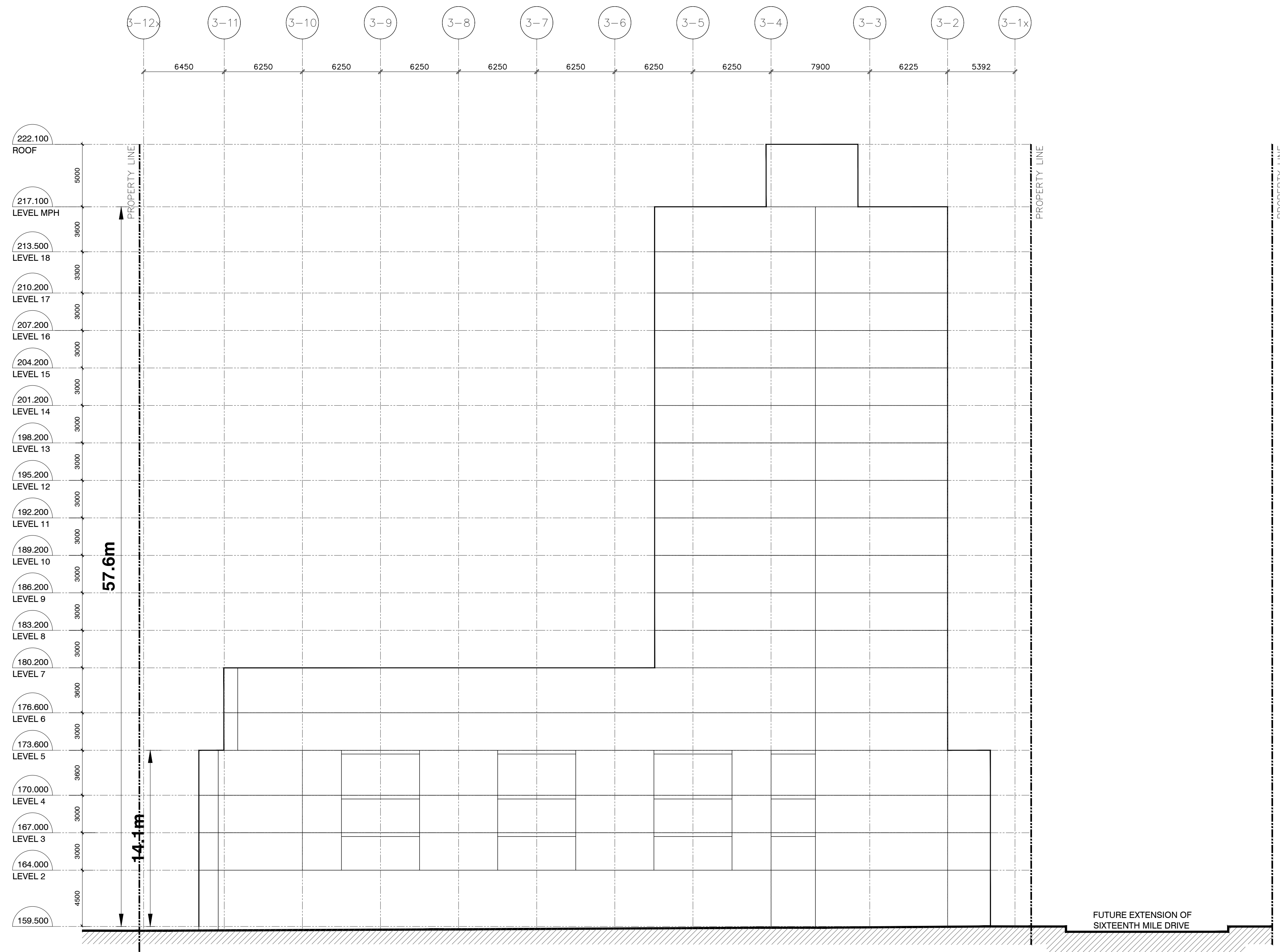
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Title  
**BUILDING 3-NORTH ELEVATION**





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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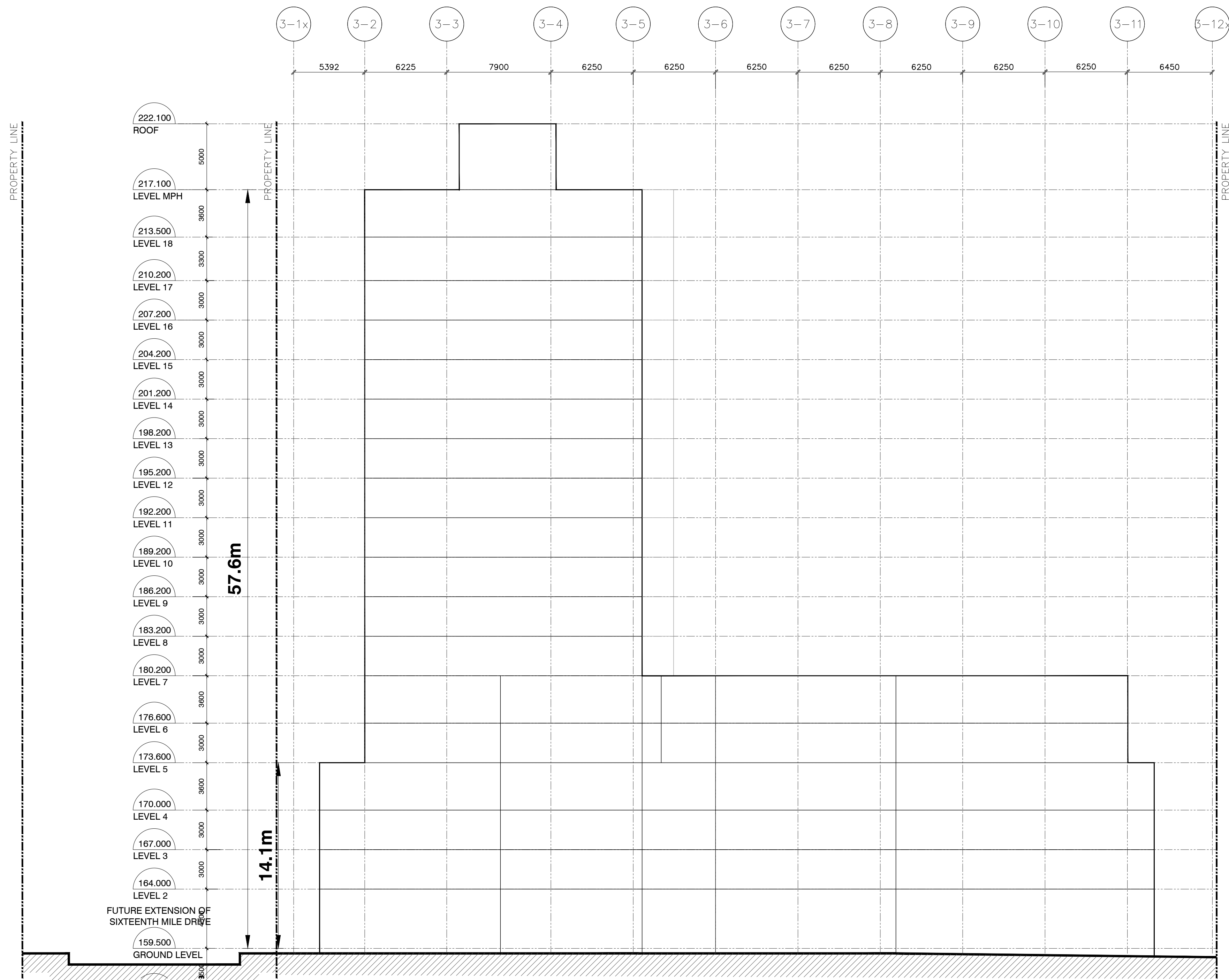
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Title  
**BUILDING 3-EAST ELEVATION**





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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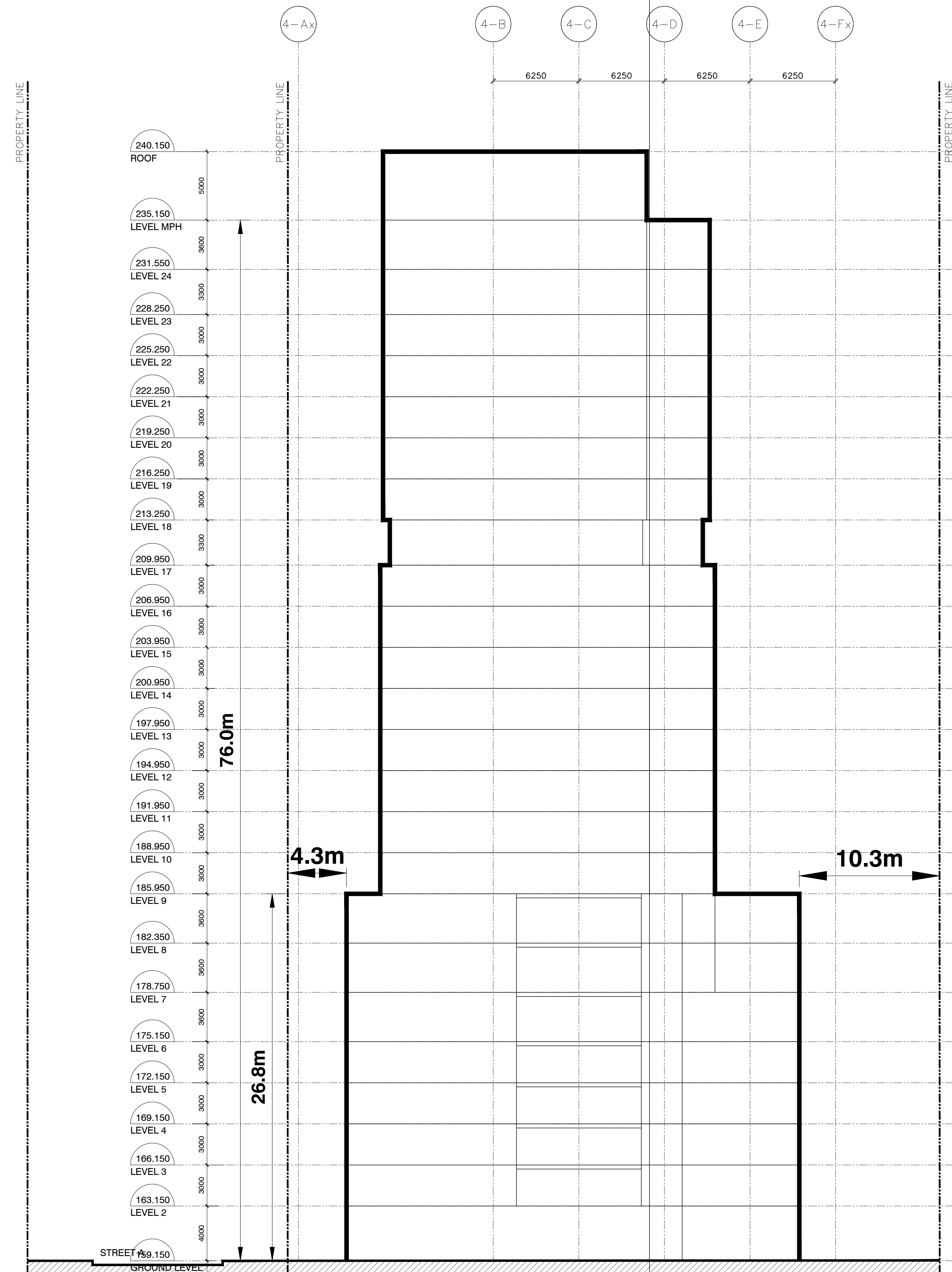
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Title  
BUILDING 3-WEST ELEVATION





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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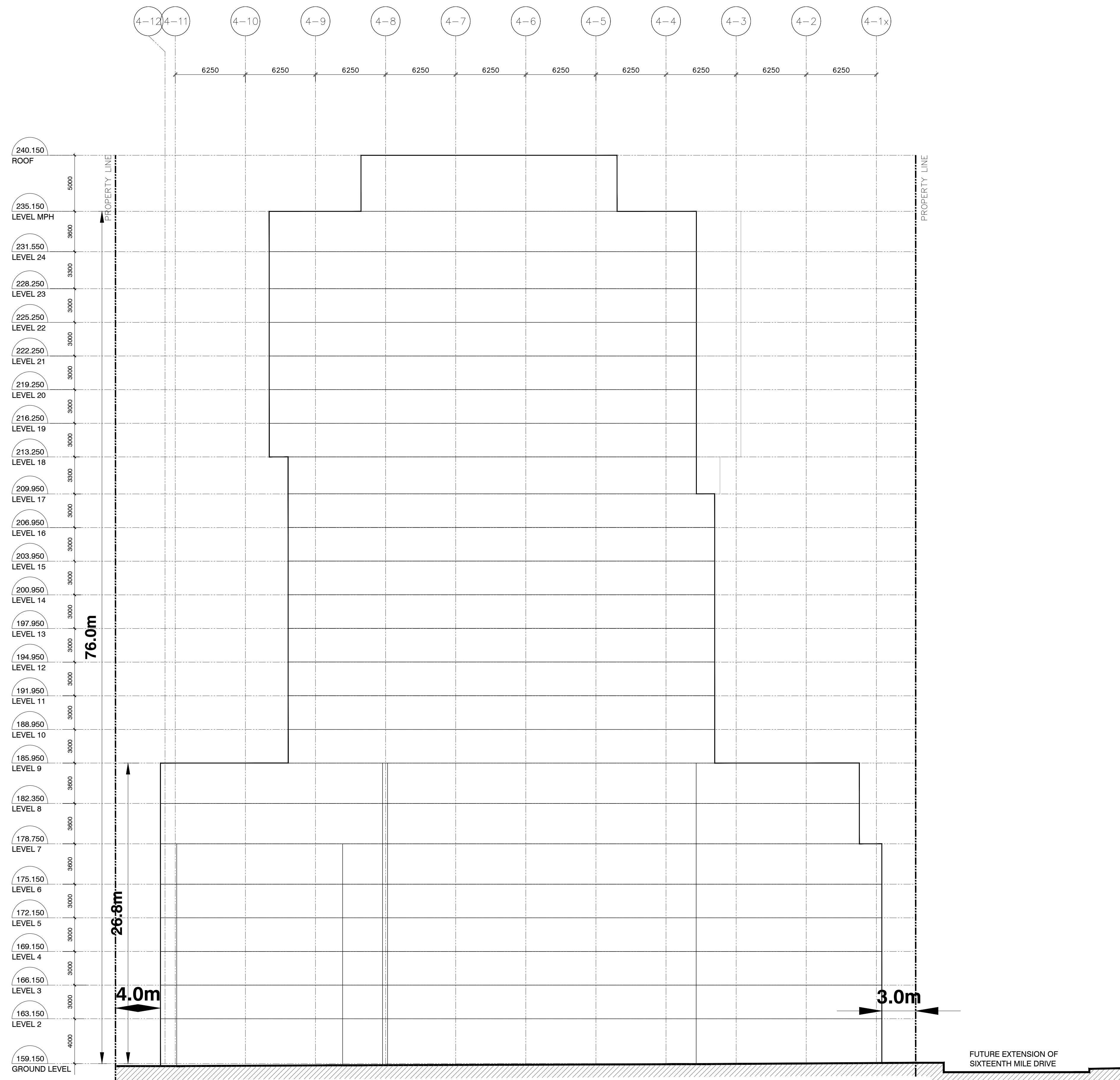
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Checked CW	Date MAY 2024

Title  
**BUILDING 4-SOUTH ELEVATION**









03	ISSUED FOR OPA & ZBA	06 DEC 2024
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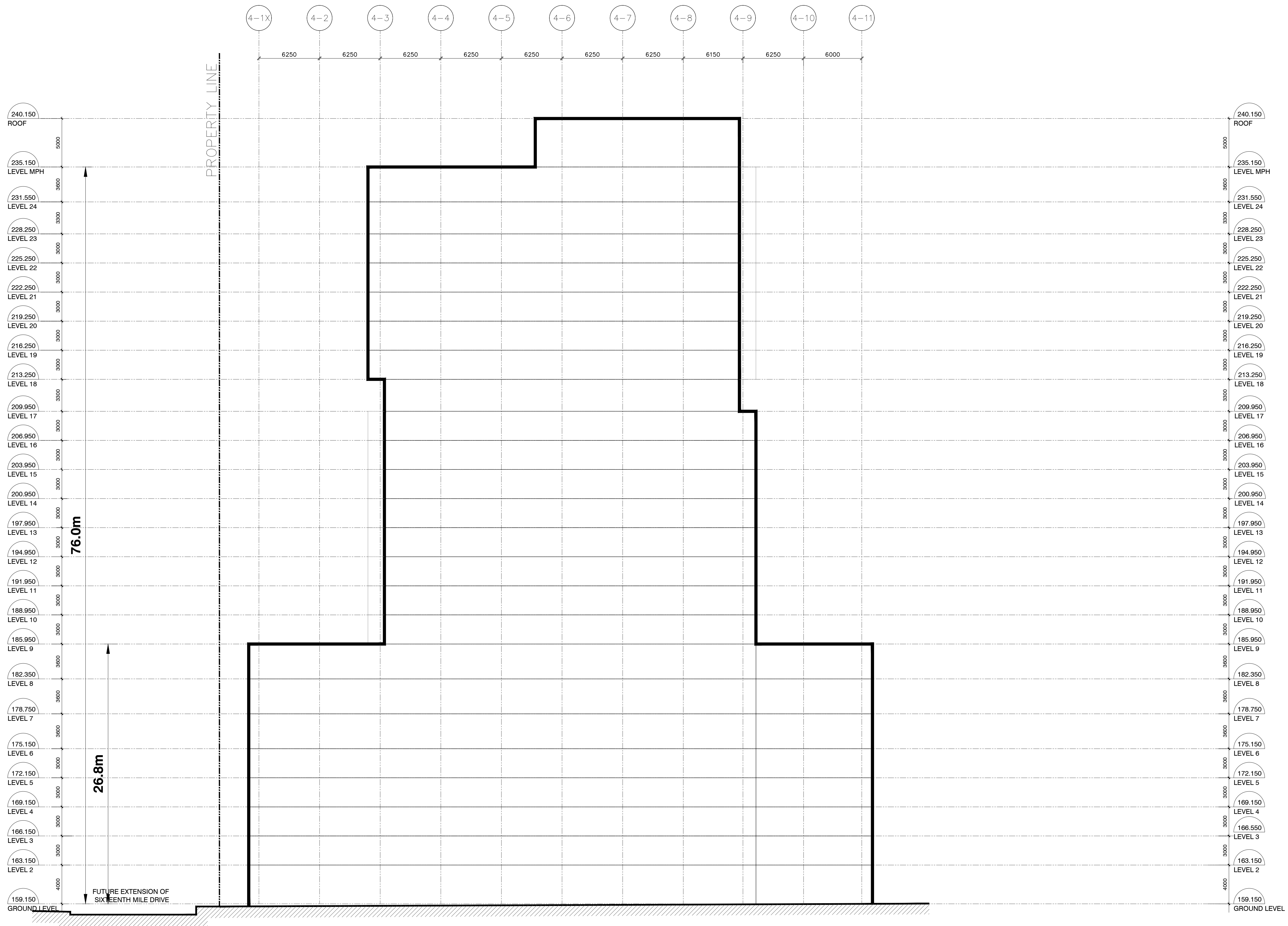
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Drawn SR	Scale 1:200
Checked CW	Date MAY 2024

Title  
**BUILDING 4-EAST ELEVATION**





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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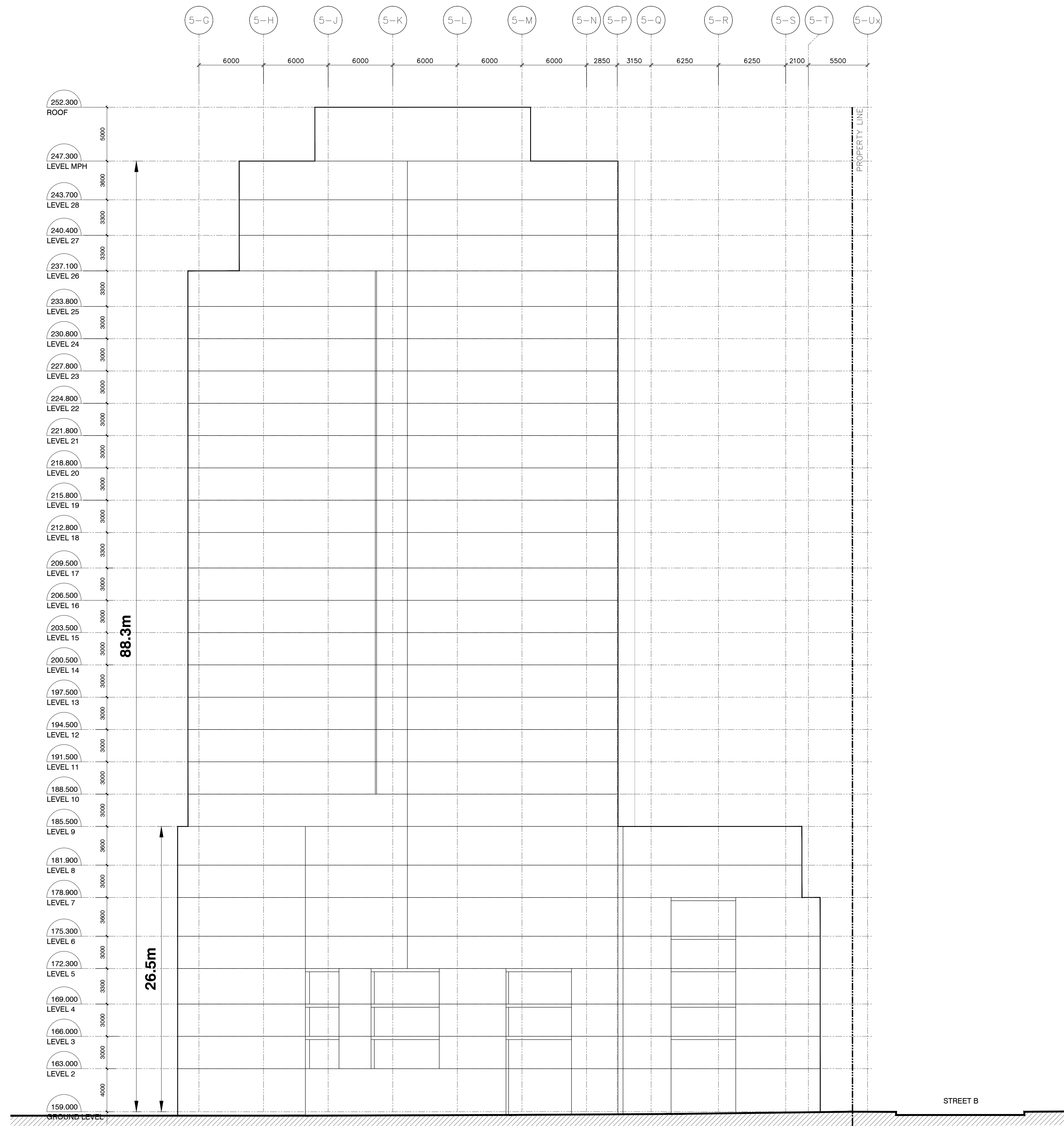


Drawn SR	Scale 1:200
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Title  
**BUILDING 4-WEST ELEVATION**

Project No. 23-109	Drawing No. <b>A433</b>
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03	ISSUED FOR OPA & ZBA	06 DEC 2024
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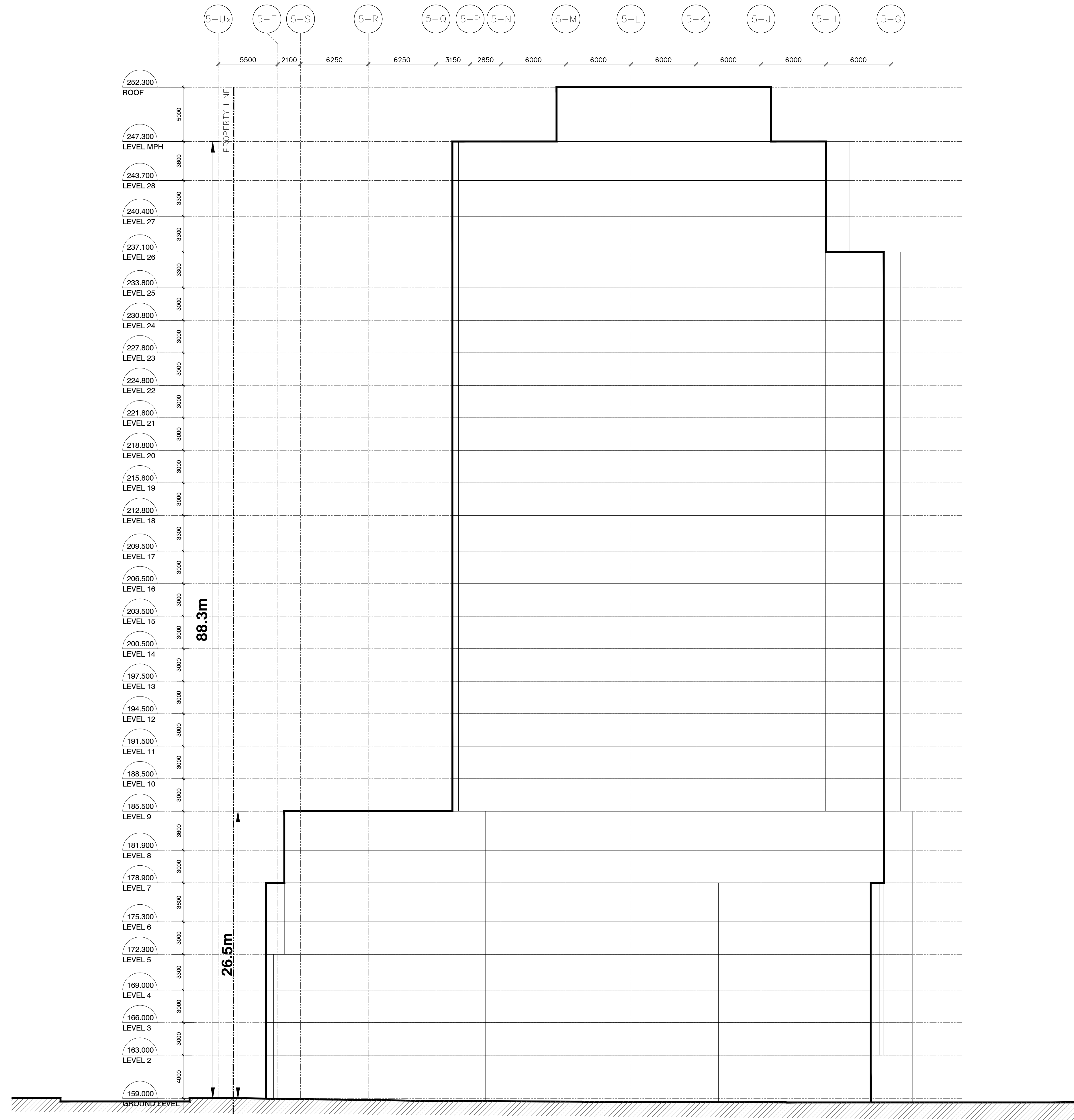
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Title  
**BUILDING 5-SOUTH ELEVATION**





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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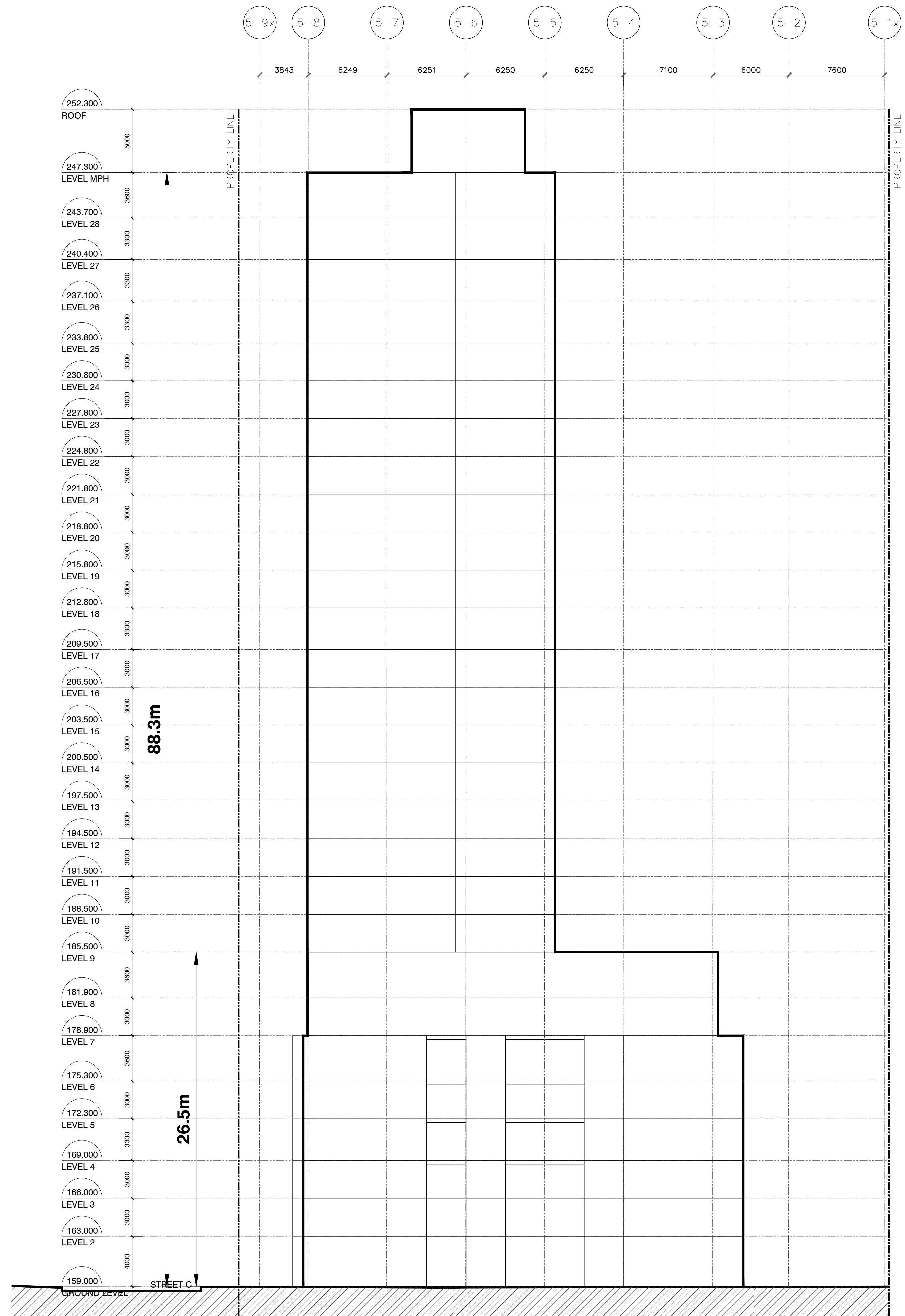
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Title  
BUILDING 5-NORTH ELEVATION





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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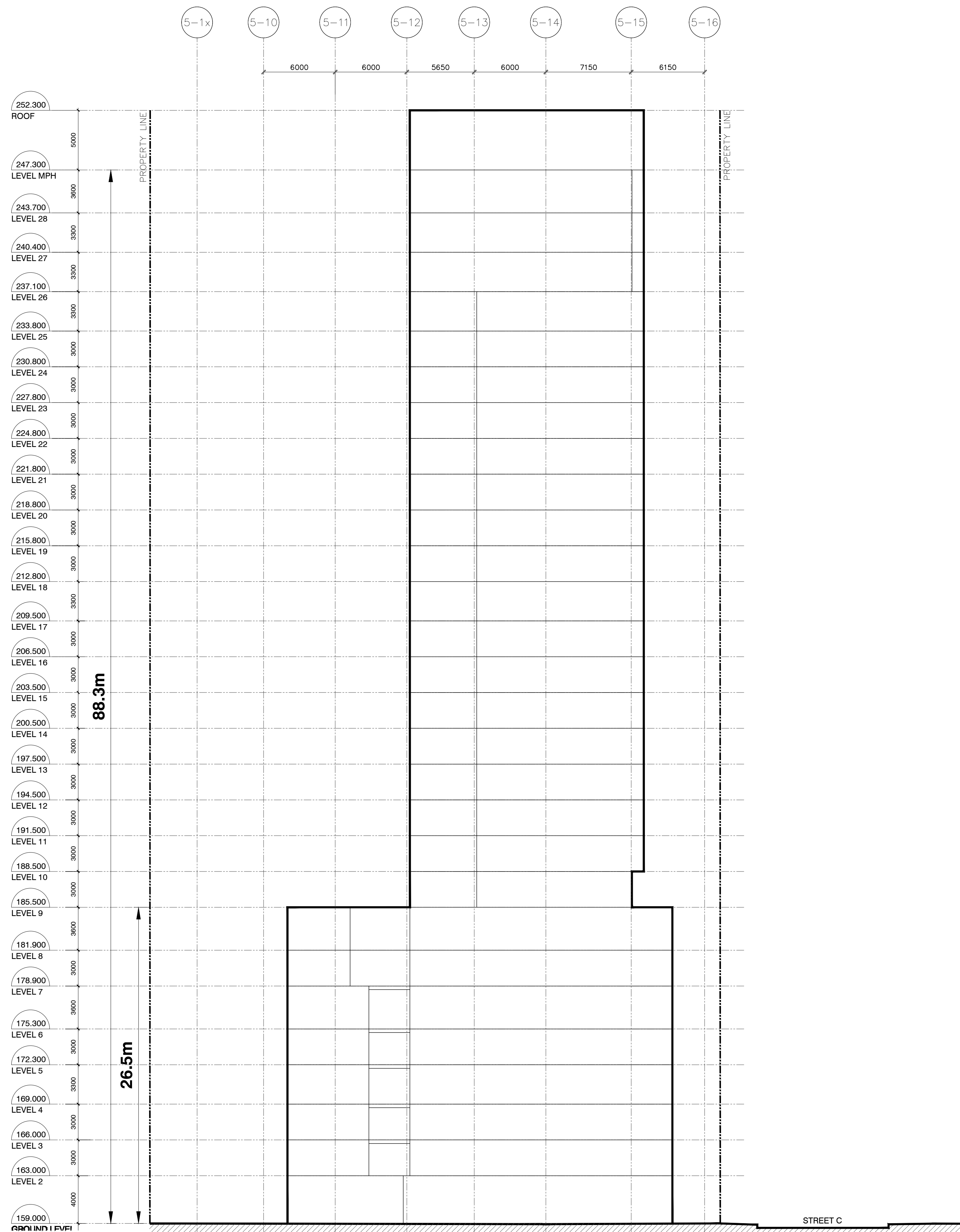
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Title  
**BUILDING 5-EAST ELEVATION**





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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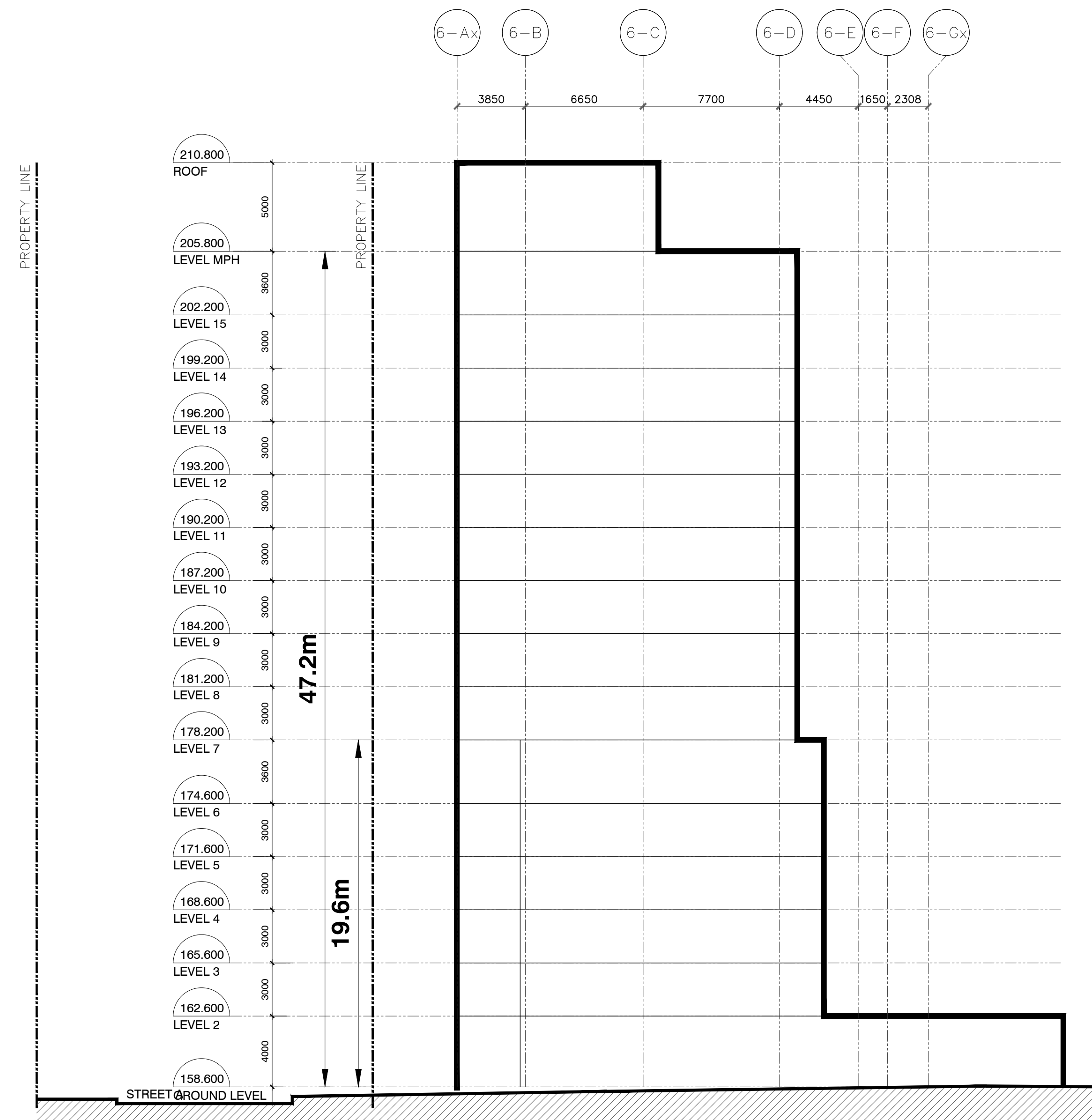
neatt



Drawn SR	Scale 1:200
Checked CW	Date MAY 2024

Title  
**BUILDING 5-WEST ELEVATION**





03	ISSUED FOR OPA & ZBA	06 DEC 2024
02	ISSUED FOR URBAN DESIGN BRIEF	31 OCT 2024
01	ISSUED FOR PRE-CONSULTATION MEETING #02	05 SEP 2024

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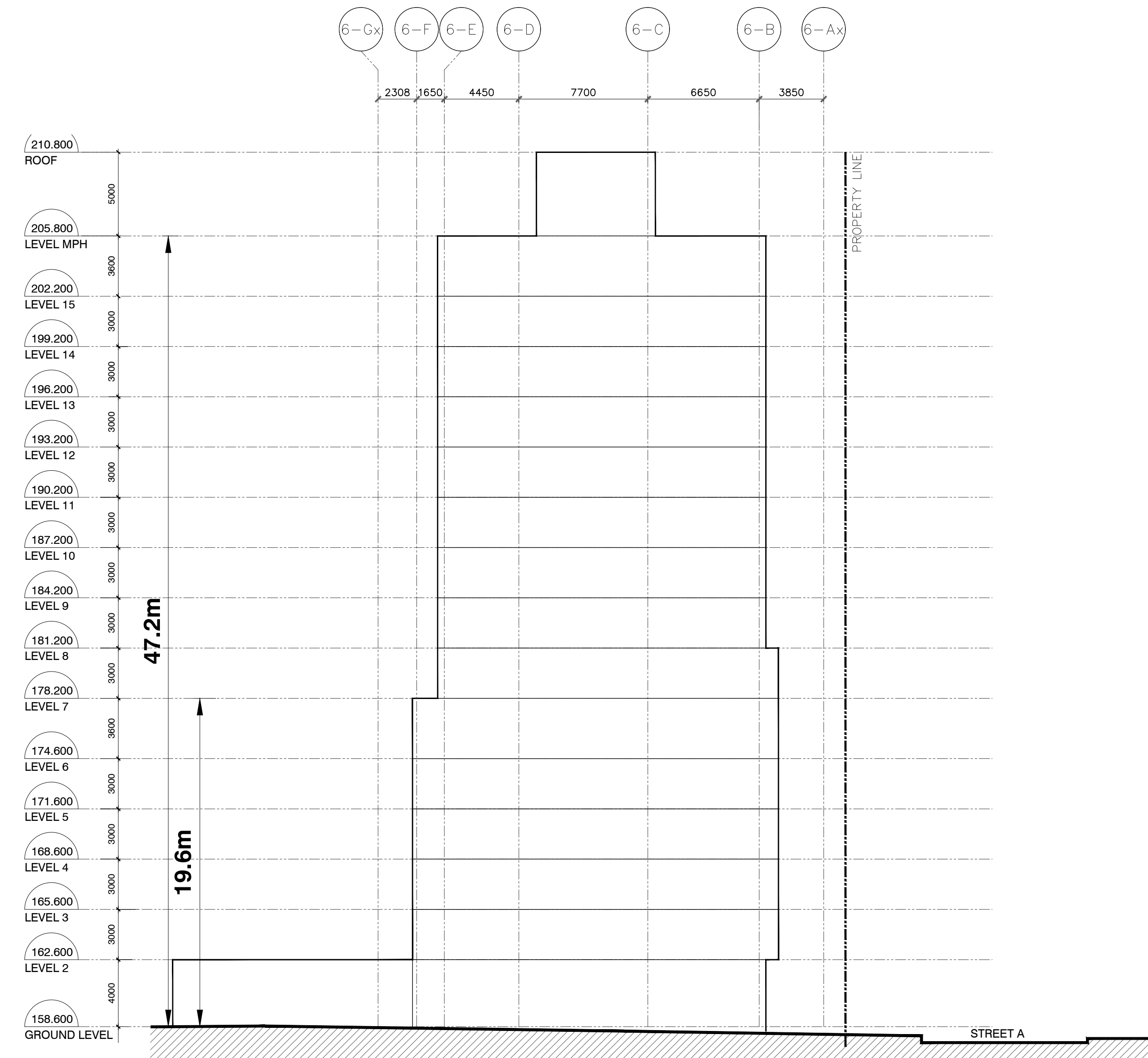
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Drawn SR	Scale 1:200
Checked CW	Date MAY 2024

Title  
**BUILDING 6-SOUTH ELEVATION**





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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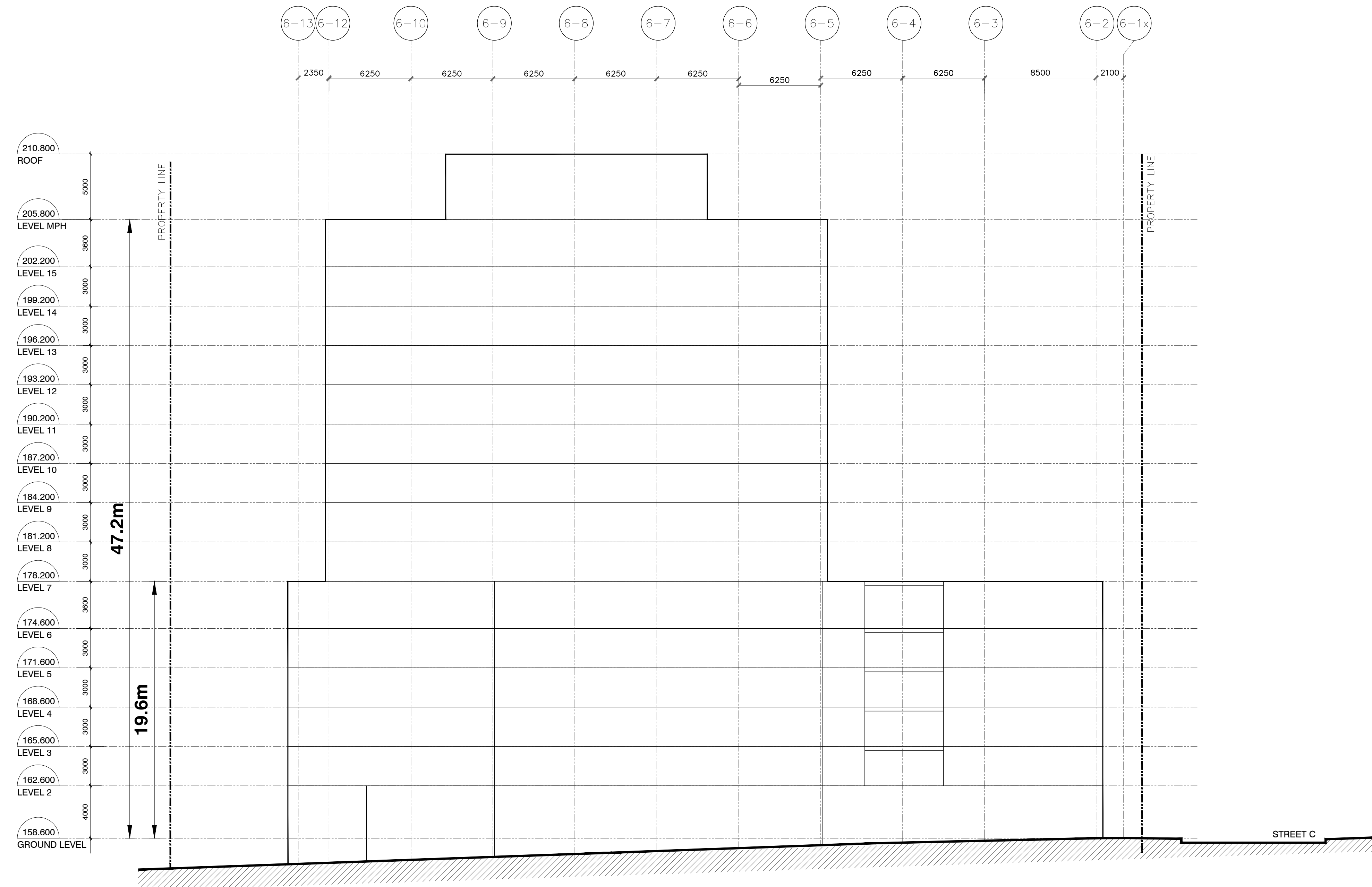


Drawn SR	Scale 1:200
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Title  
**BUILDING 6-NORTH ELEVATION**

Project No. 23-109	Drawing No. <b>A451</b>
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03	ISSUED FOR OPA & ZBA	06 DEC 2024
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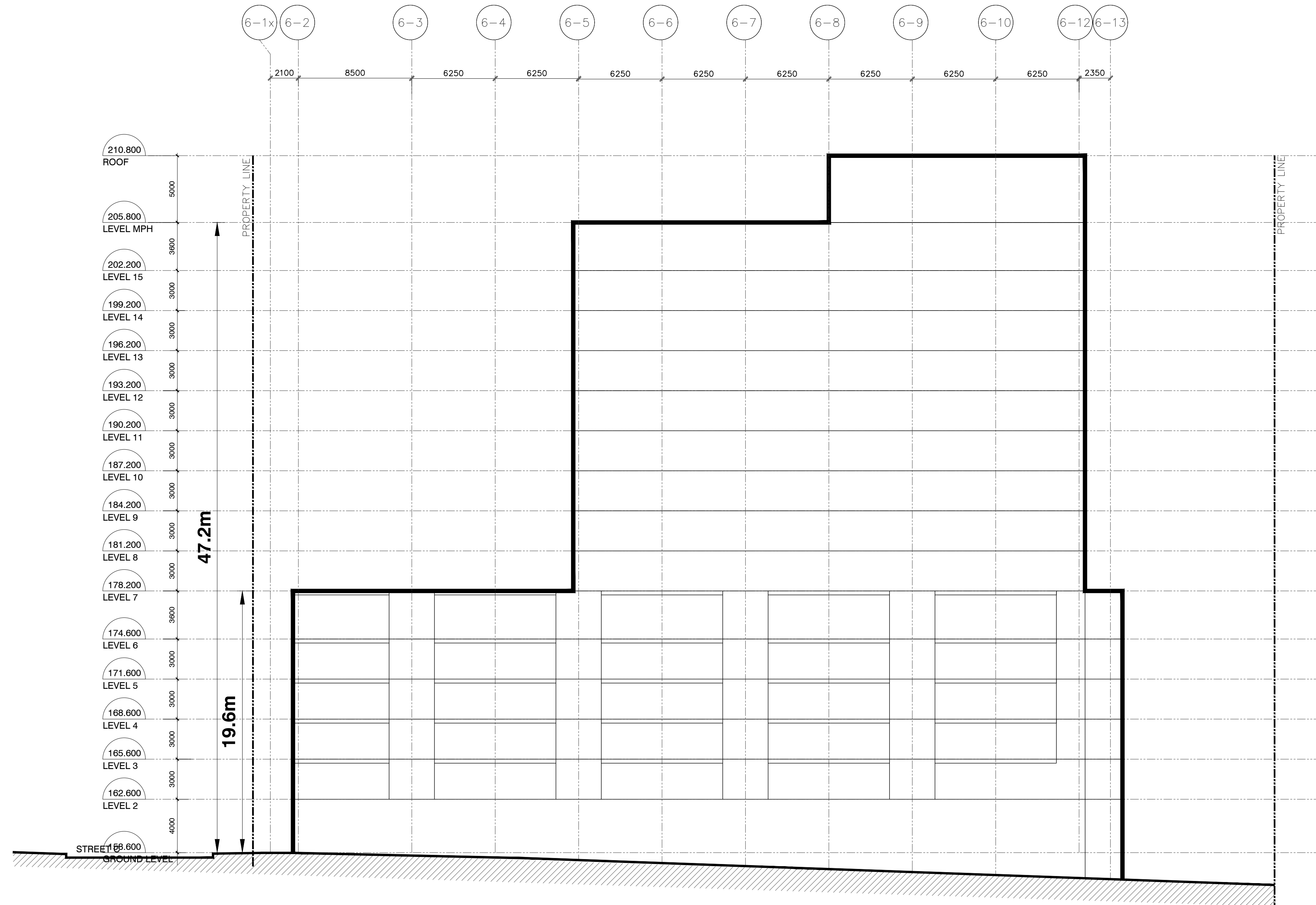
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Title  
**BUILDING 6-EAST ELEVATION**





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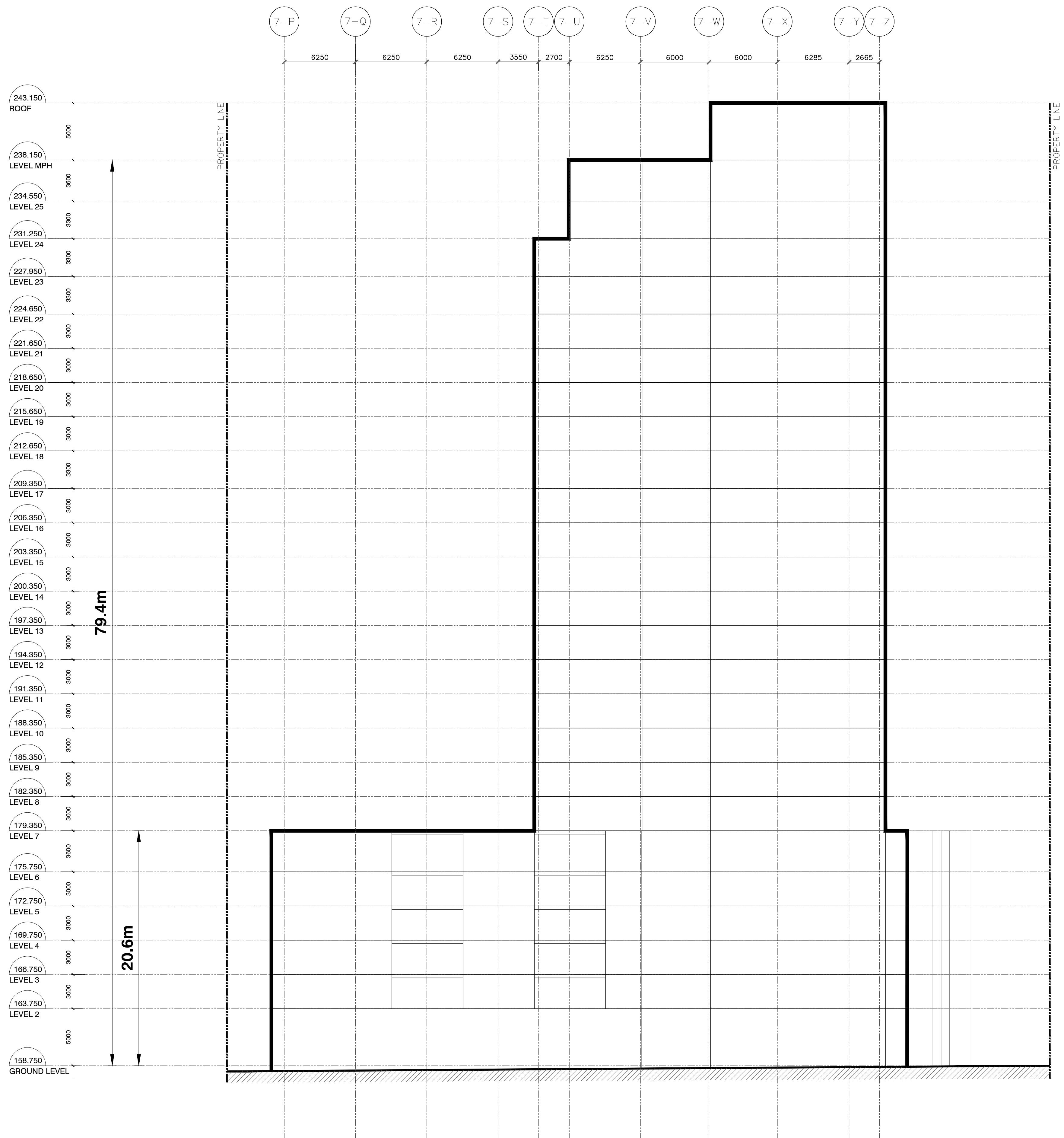
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Title  
**BUILDING 6-WEST ELEVATION**





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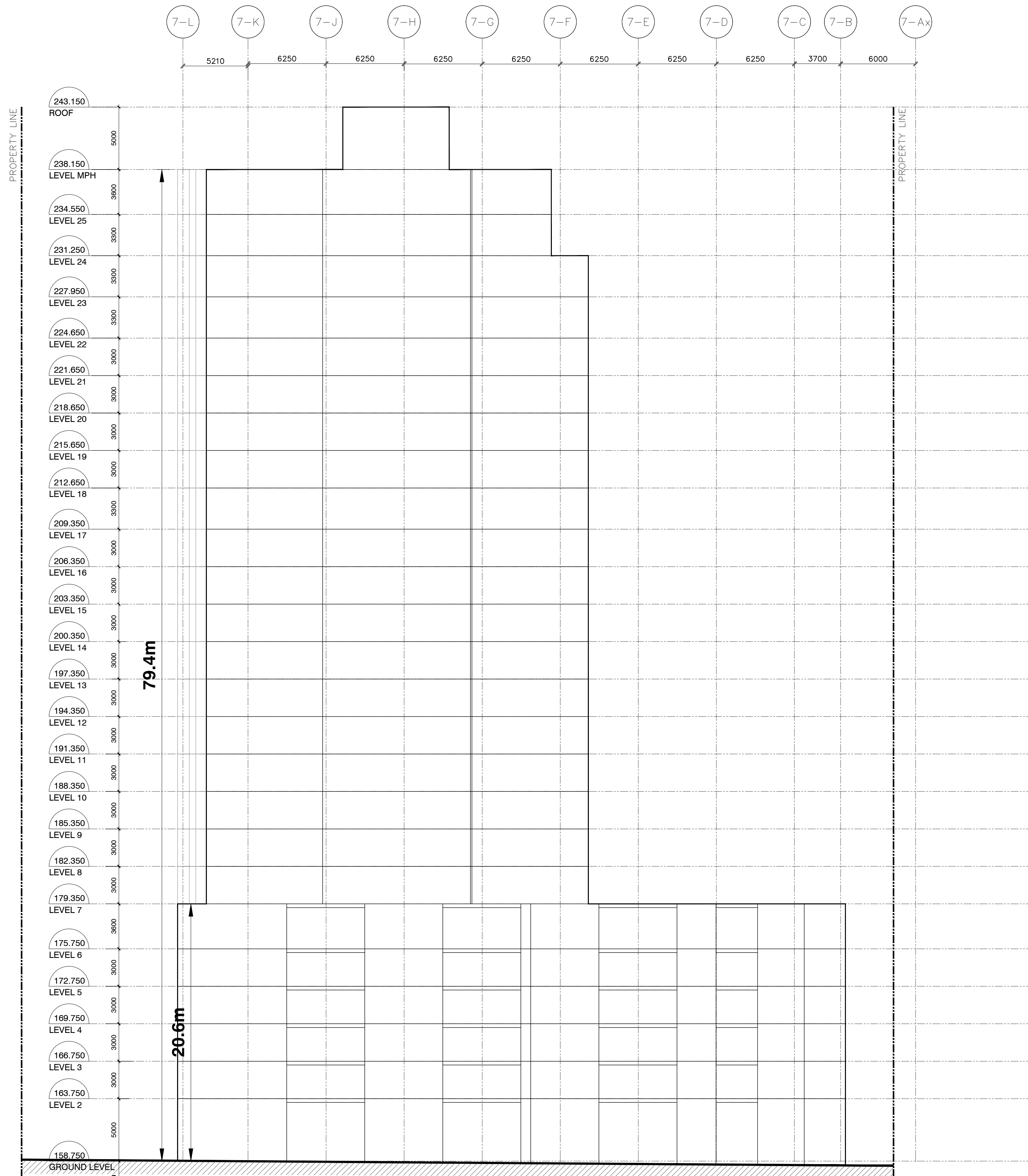
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Title  
BUILDING 7-SOUTH ELEVATION





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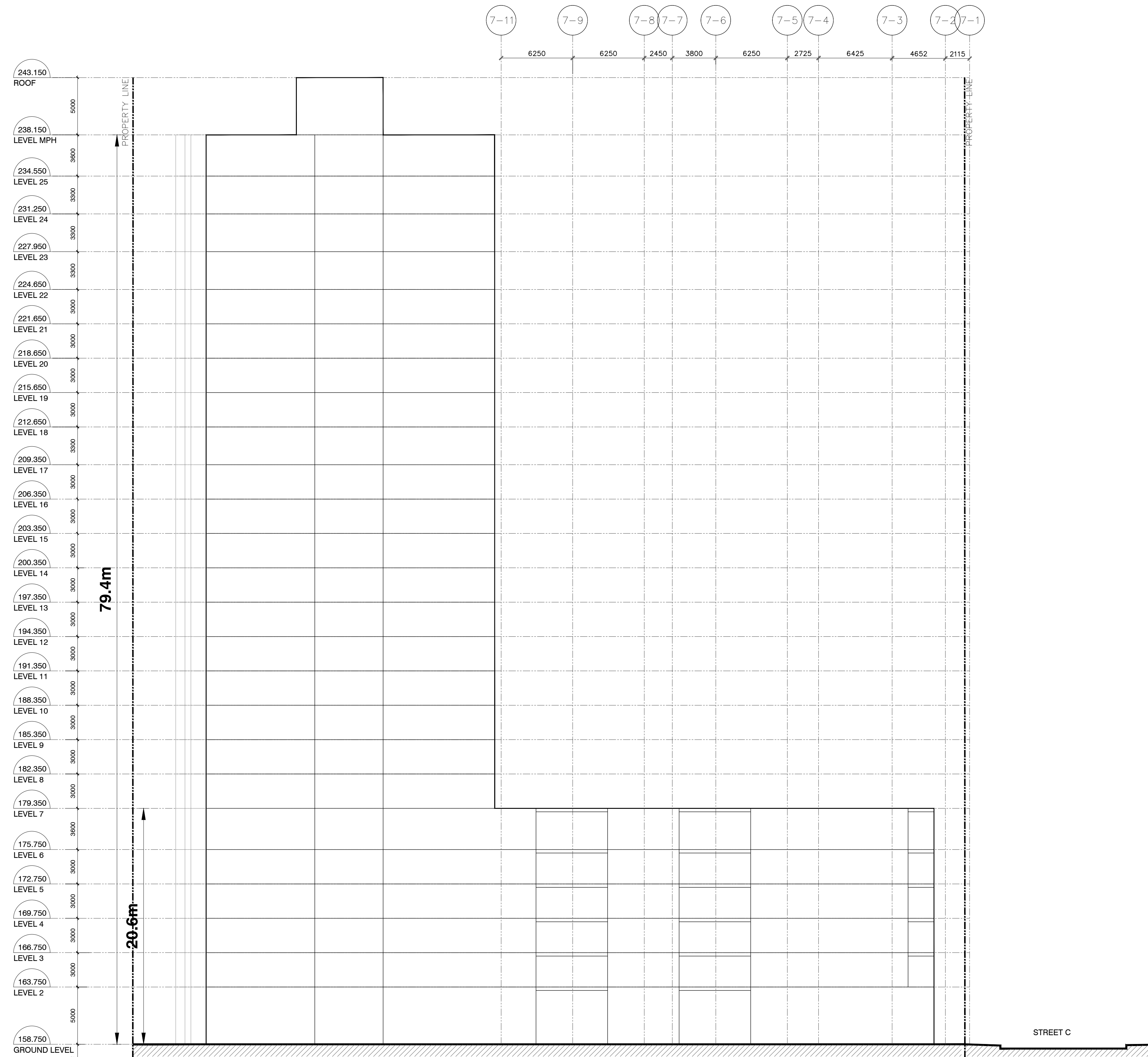
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Title  
**BUILDING 7-NORTH ELEVATION**





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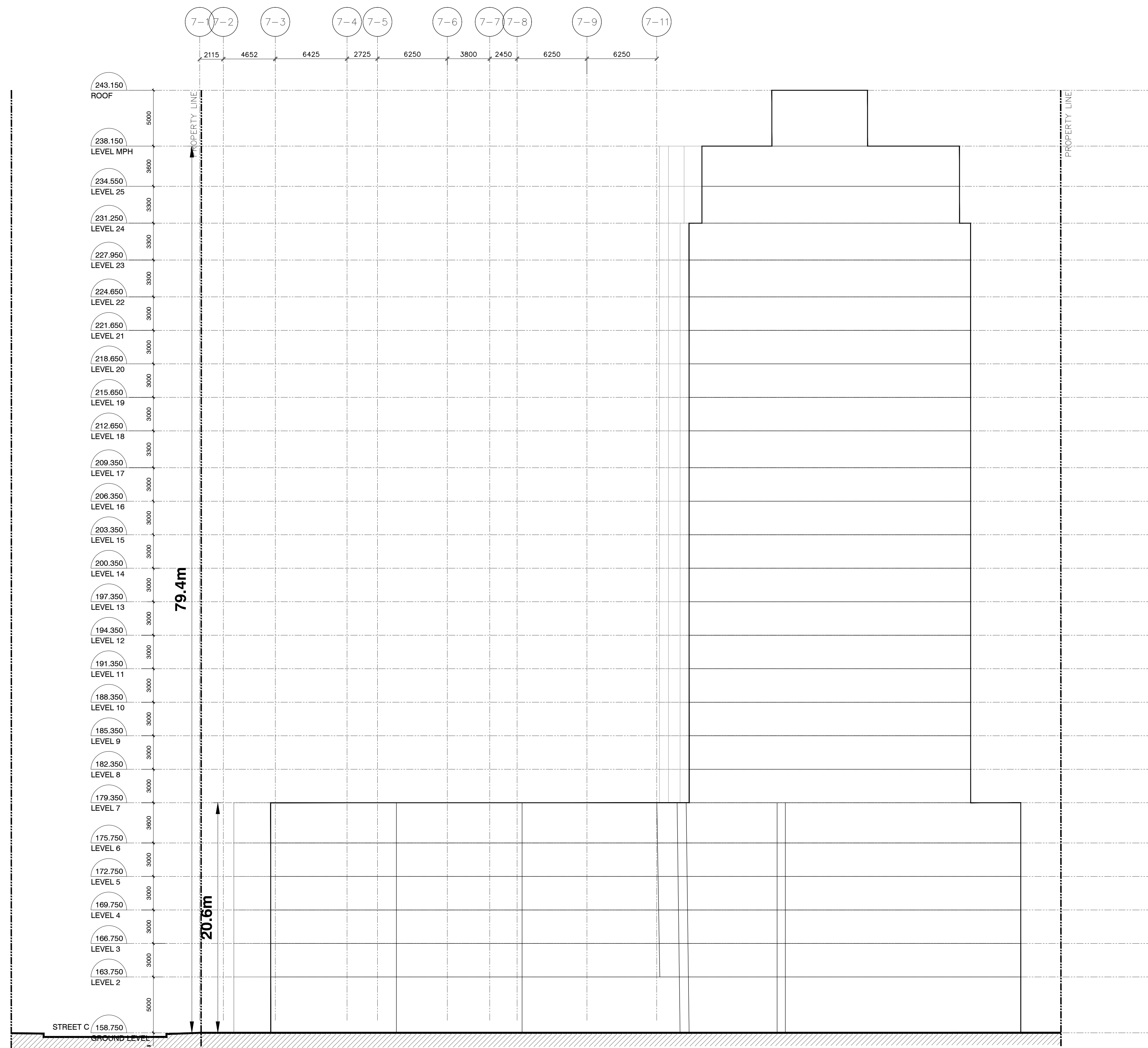
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Title  
BUILDING 7-EAST ELEVATION





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**BUILDING 7-WEST ELEVATION**





STREET A      BUILDING 6      BUILDING 7      BUILDING 2 BEYOND PRIME ENVISION INC.      NEYAGAWA BOULEVARD

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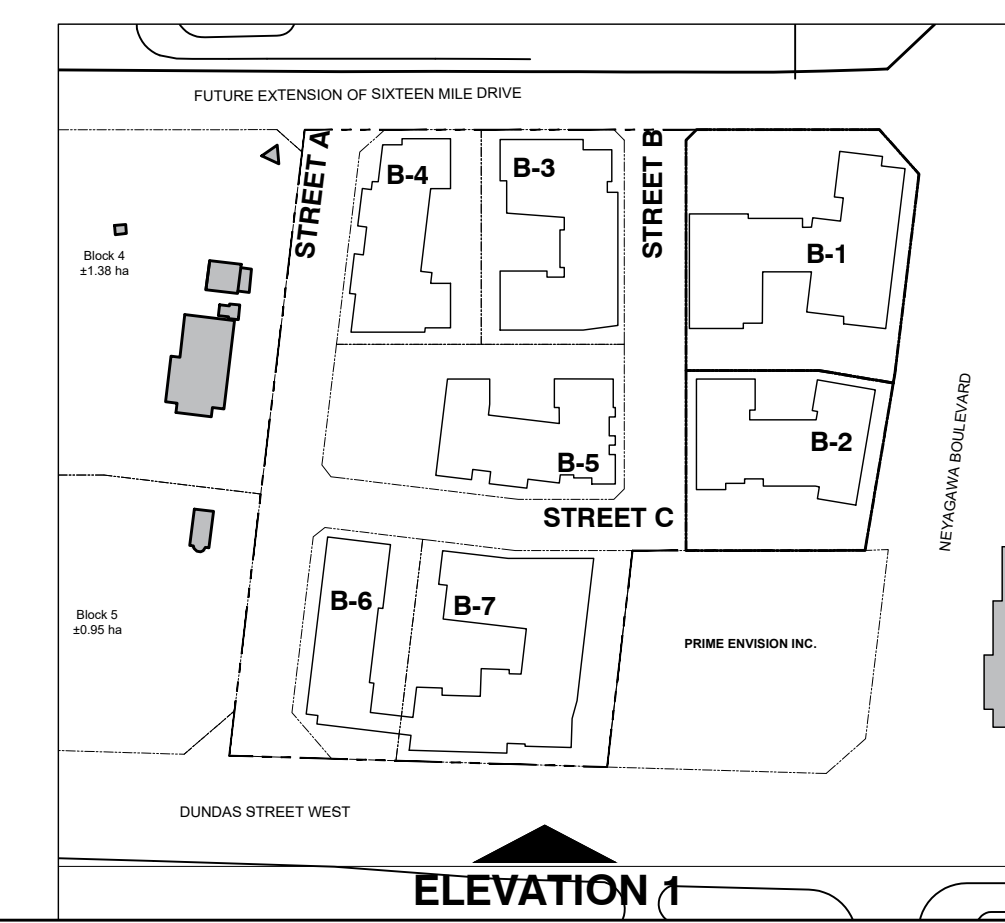
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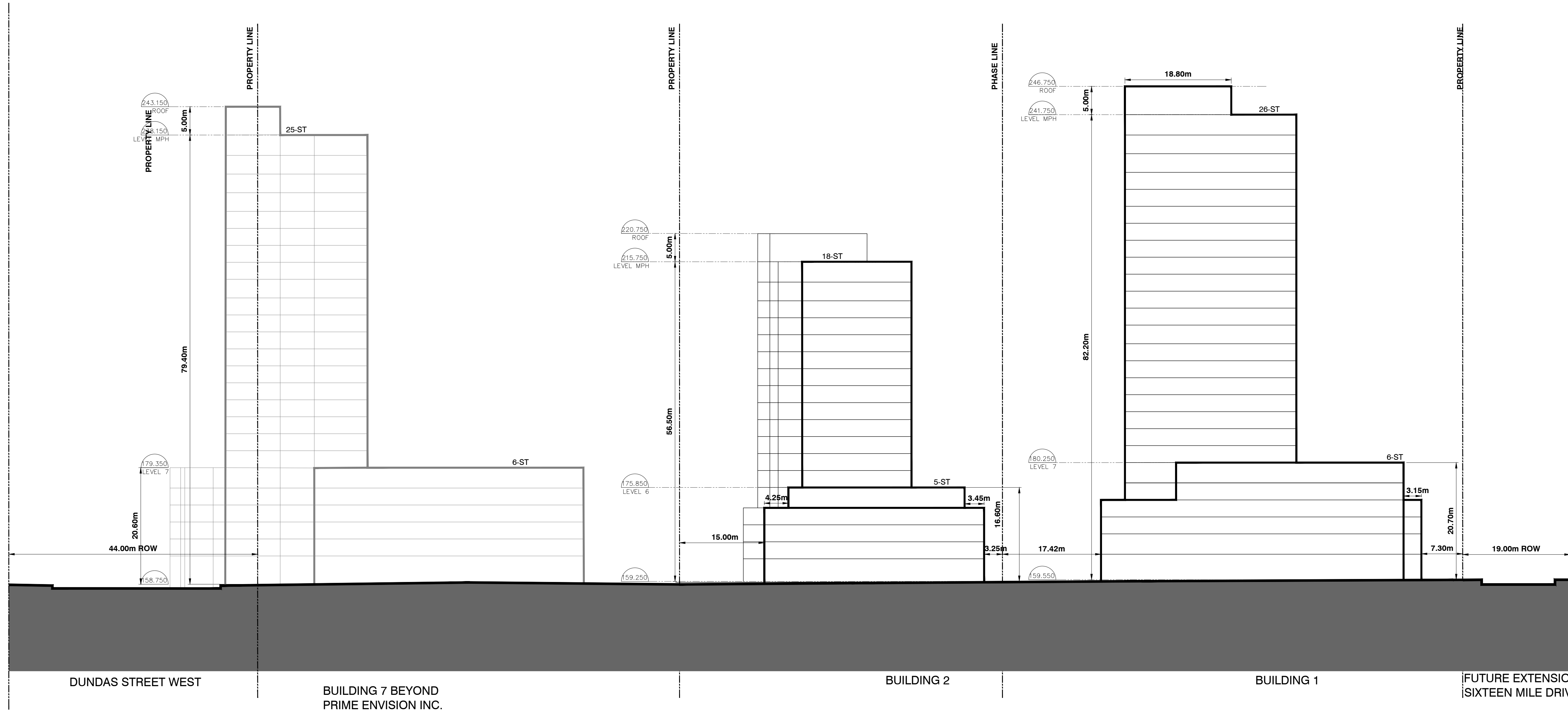
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Checked CW	Date MARCH 2024

Title  
SITE ELEVATION

Project No. 23-109	Drawing No. A470
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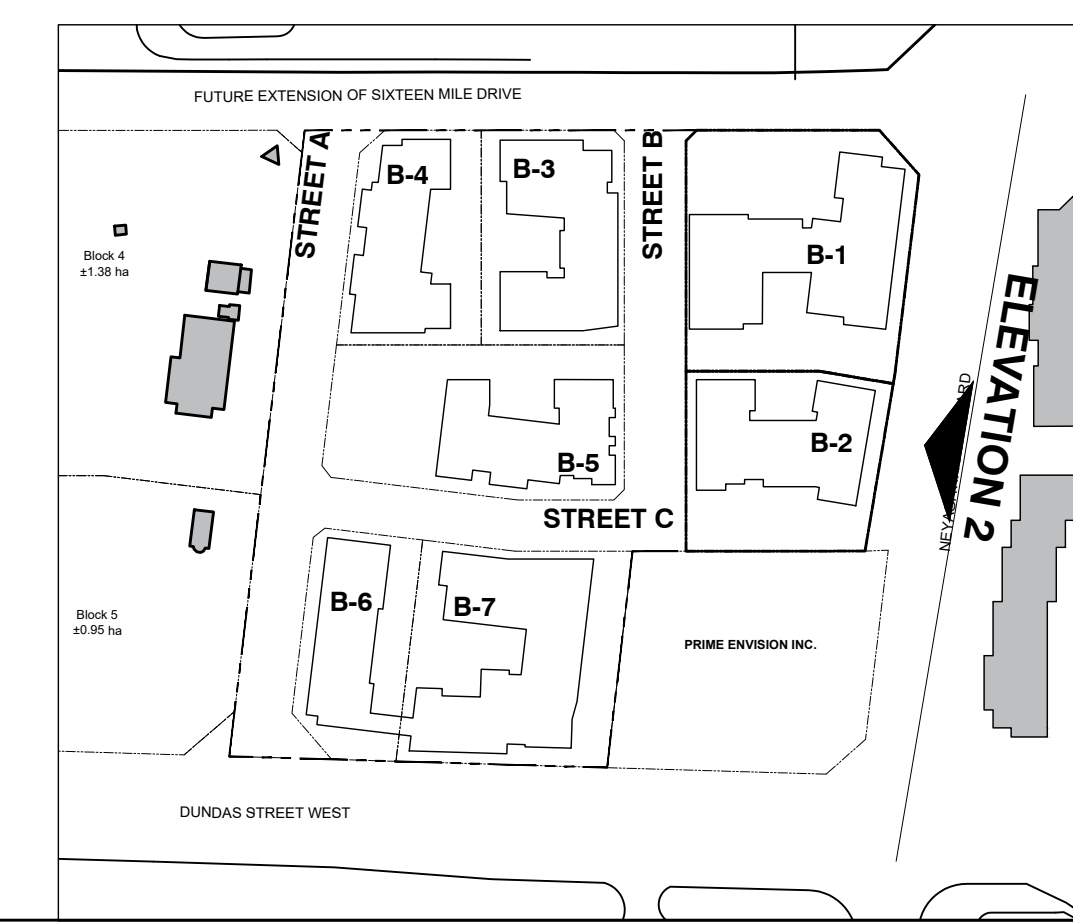


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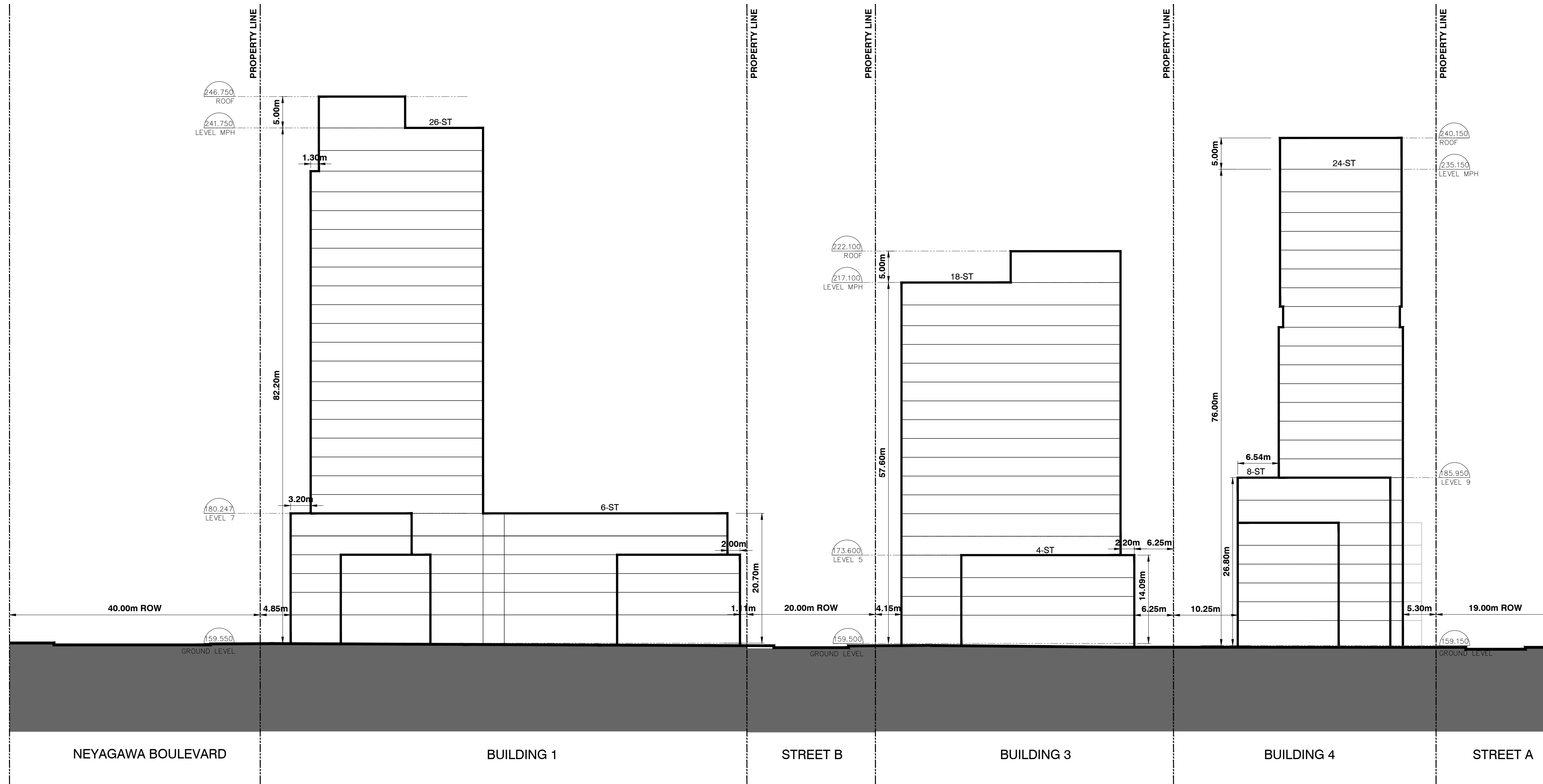
3056 NEYAGAWA BLVD  
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Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024
Title SITE ELEVATION	
Project No. 23-109	Drawing No. <b>A471</b>





03	ISSUED FOR OPA & ZBA	06 DEC 2024
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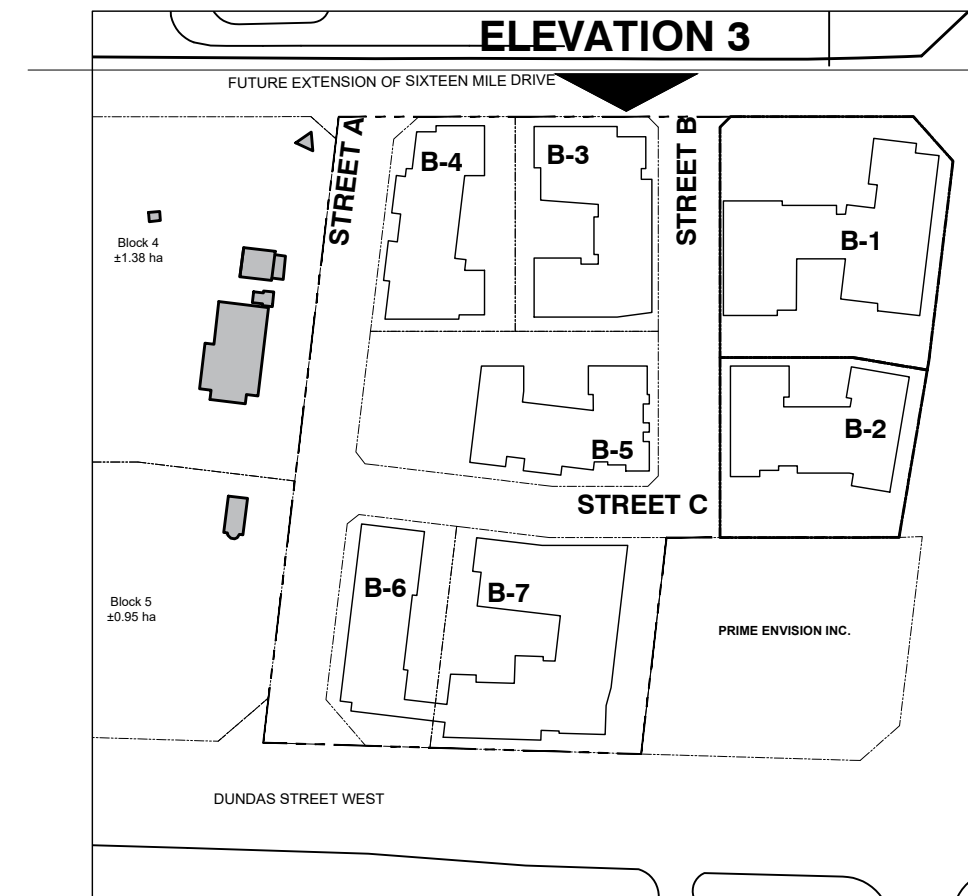
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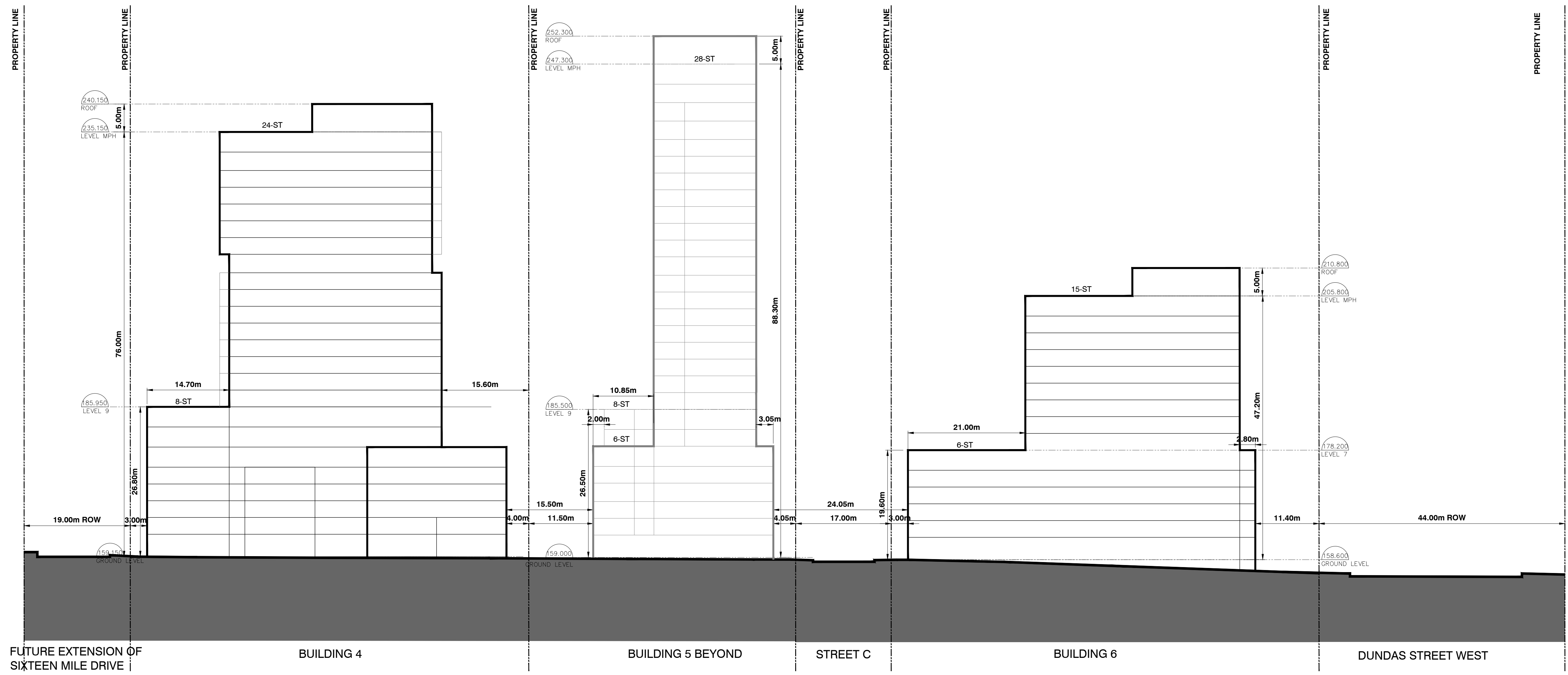
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Checked CW	Date MARCH 2024

Title  
SITE ELEVATION

Project No. 23-109	Drawing No. A472
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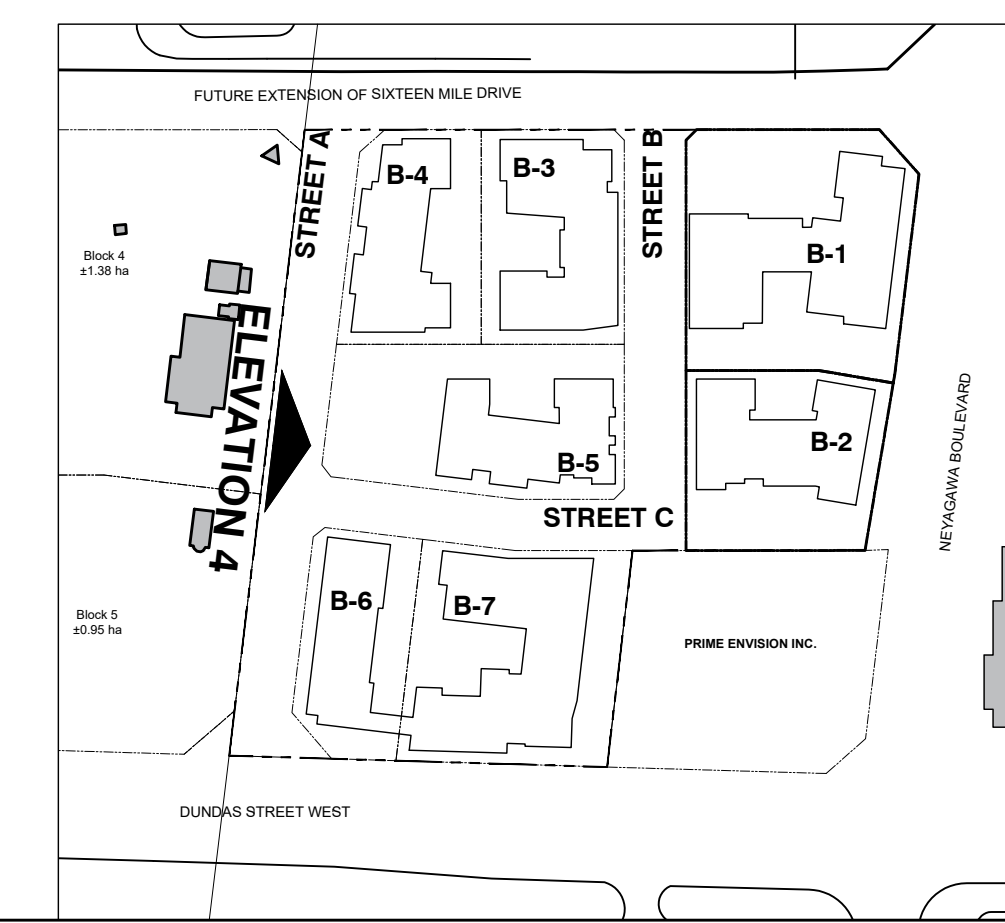
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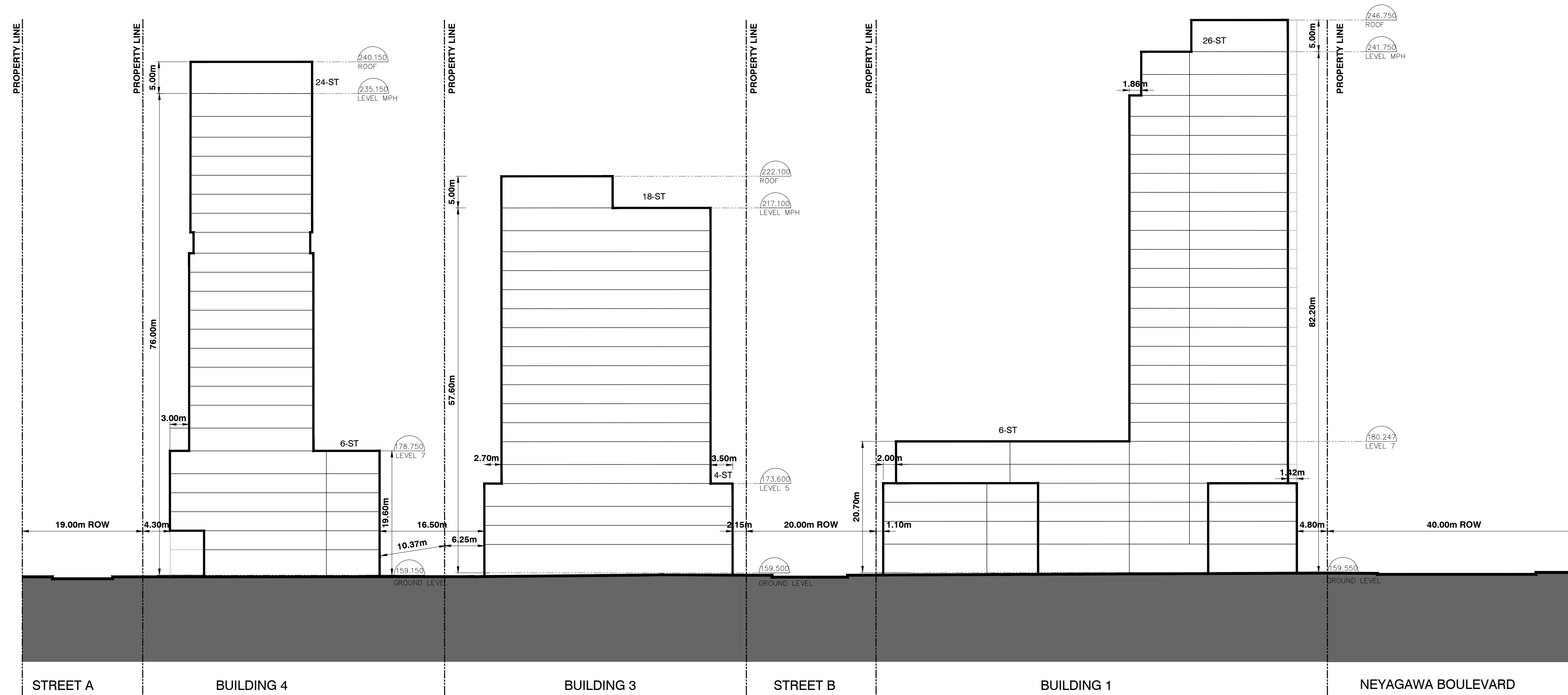
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Drawn	SR	Scale	1:400
Checked	CW	Date	MARCH 2024
Title		SITE ELEVATION	
Project No.	23-109	Drawing No.	A473





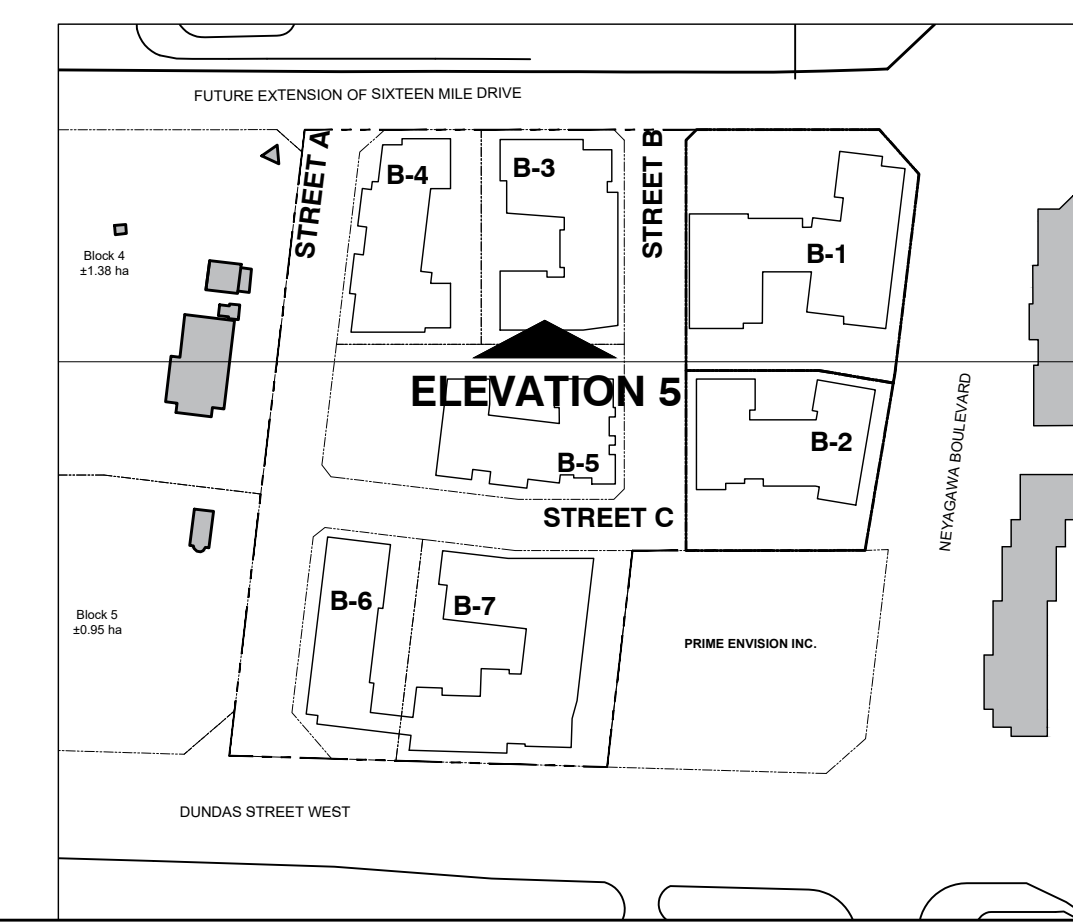
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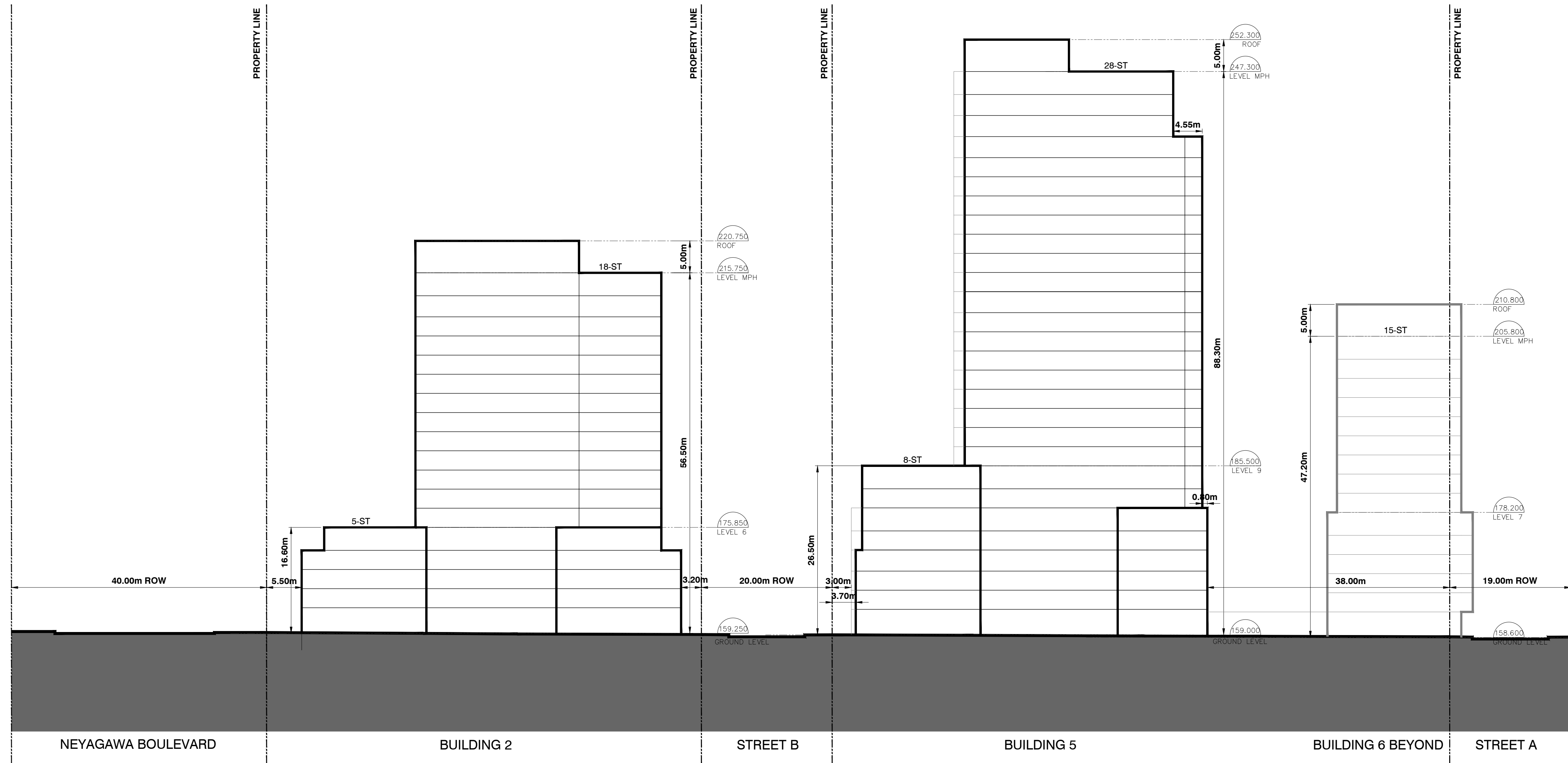
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Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024
Title SITE ELEVATION	
Project No. 23-109	Drawing No. <b>A474</b>





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02	ISSUED FOR URBAN DESIGN BRIEF	31 OCT 2024
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NO.	REVISIONS	DATE

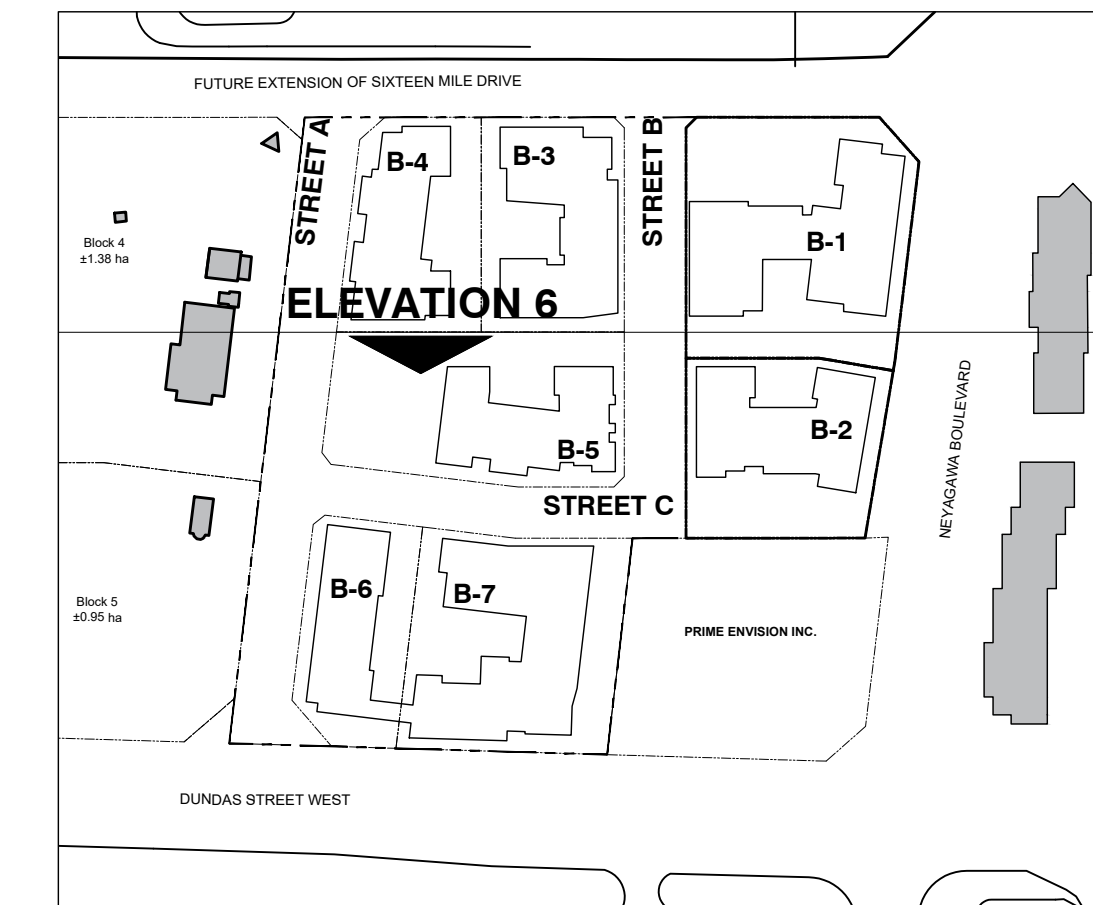
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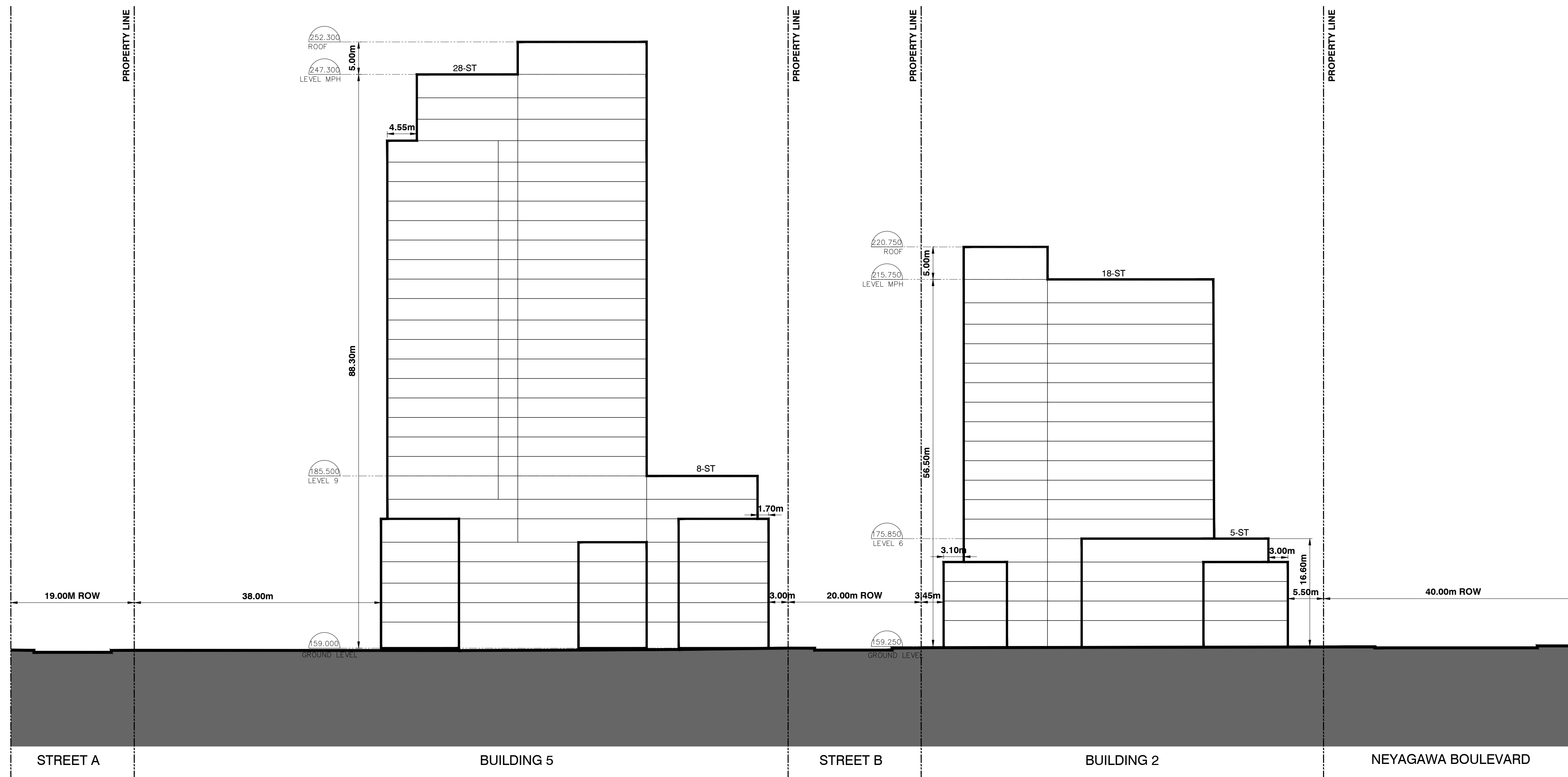


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Checked	CW	Date	MARCH 2024

Title  
 SITE ELEVATION

Project No.	23-109	Drawing No.	<b>A475</b>
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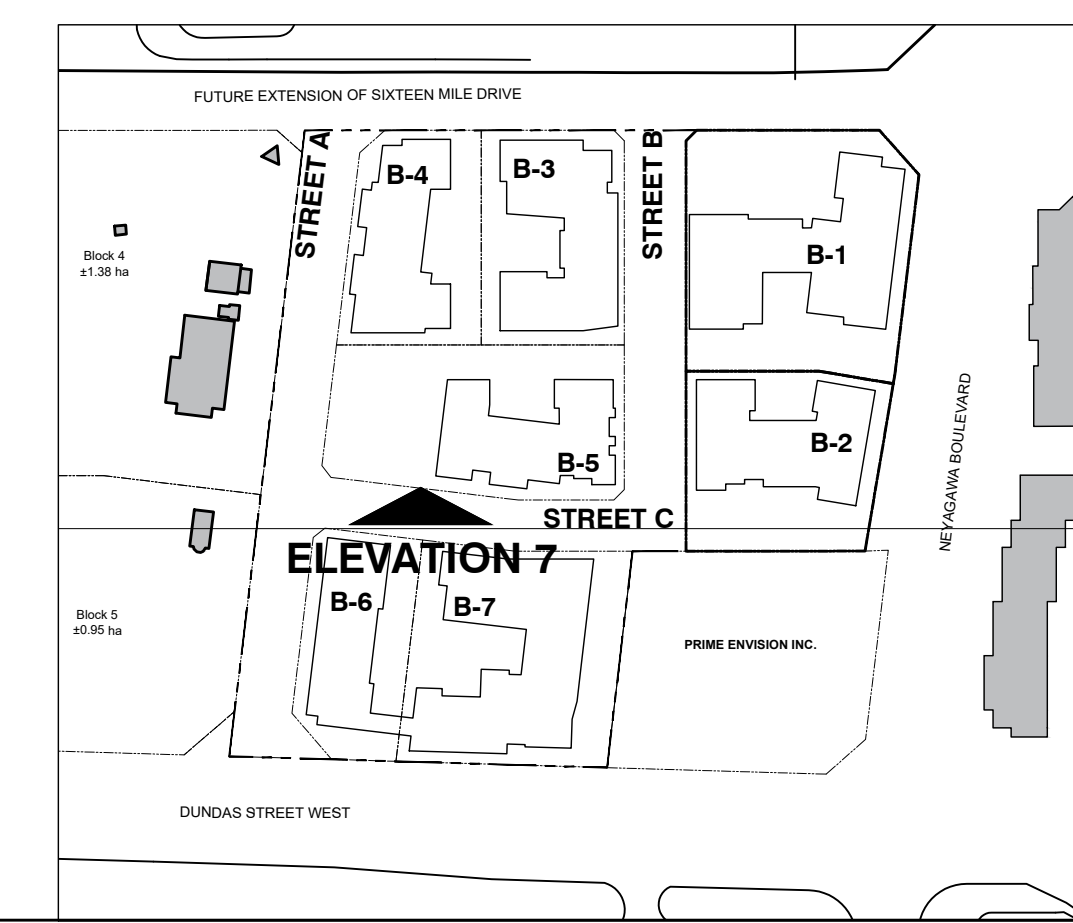
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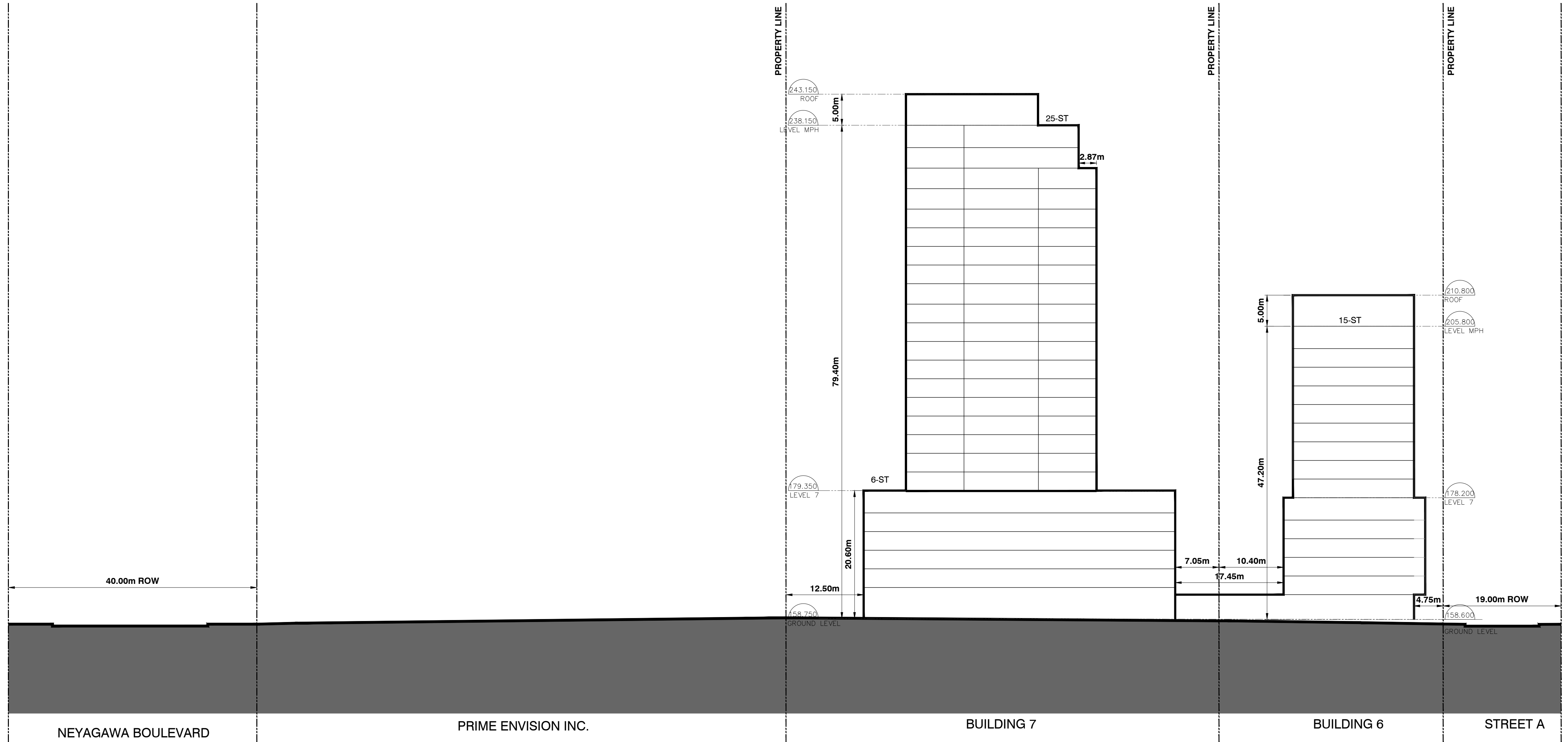
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Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024
Title SITE ELEVATION	
Project No. 23-109	Drawing No. A476



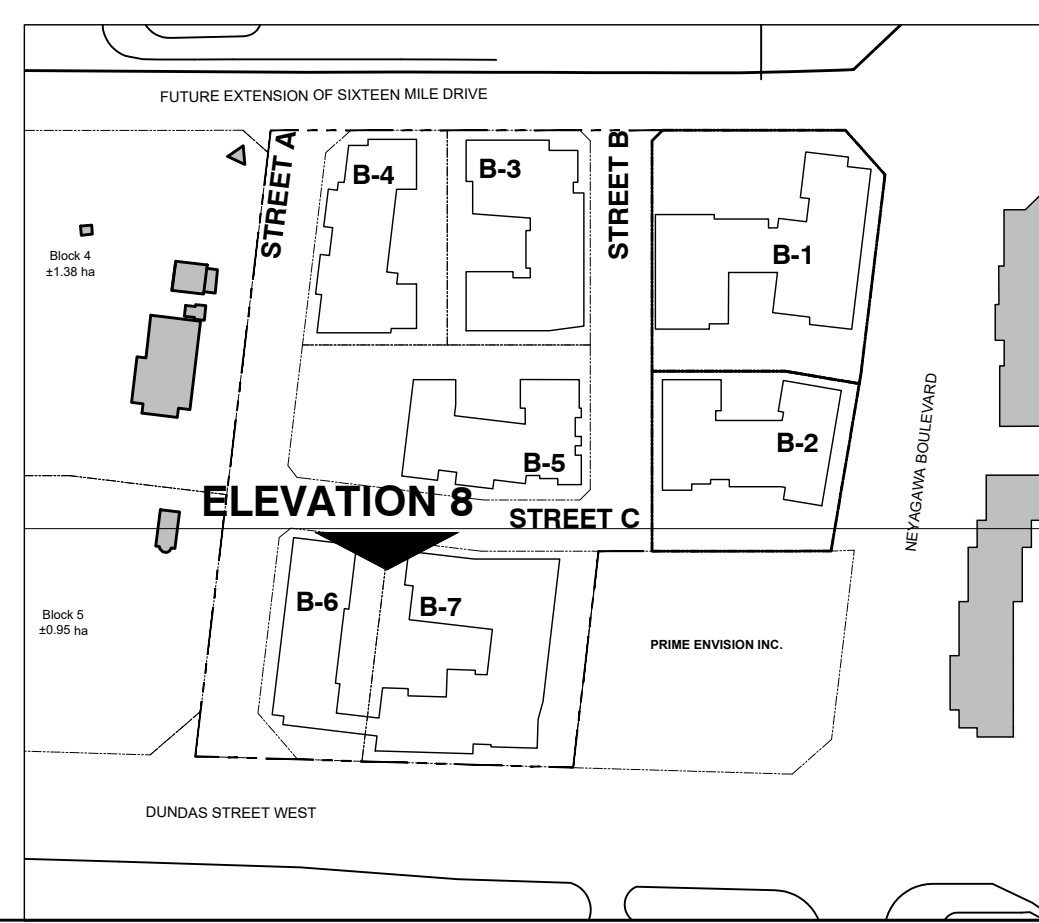


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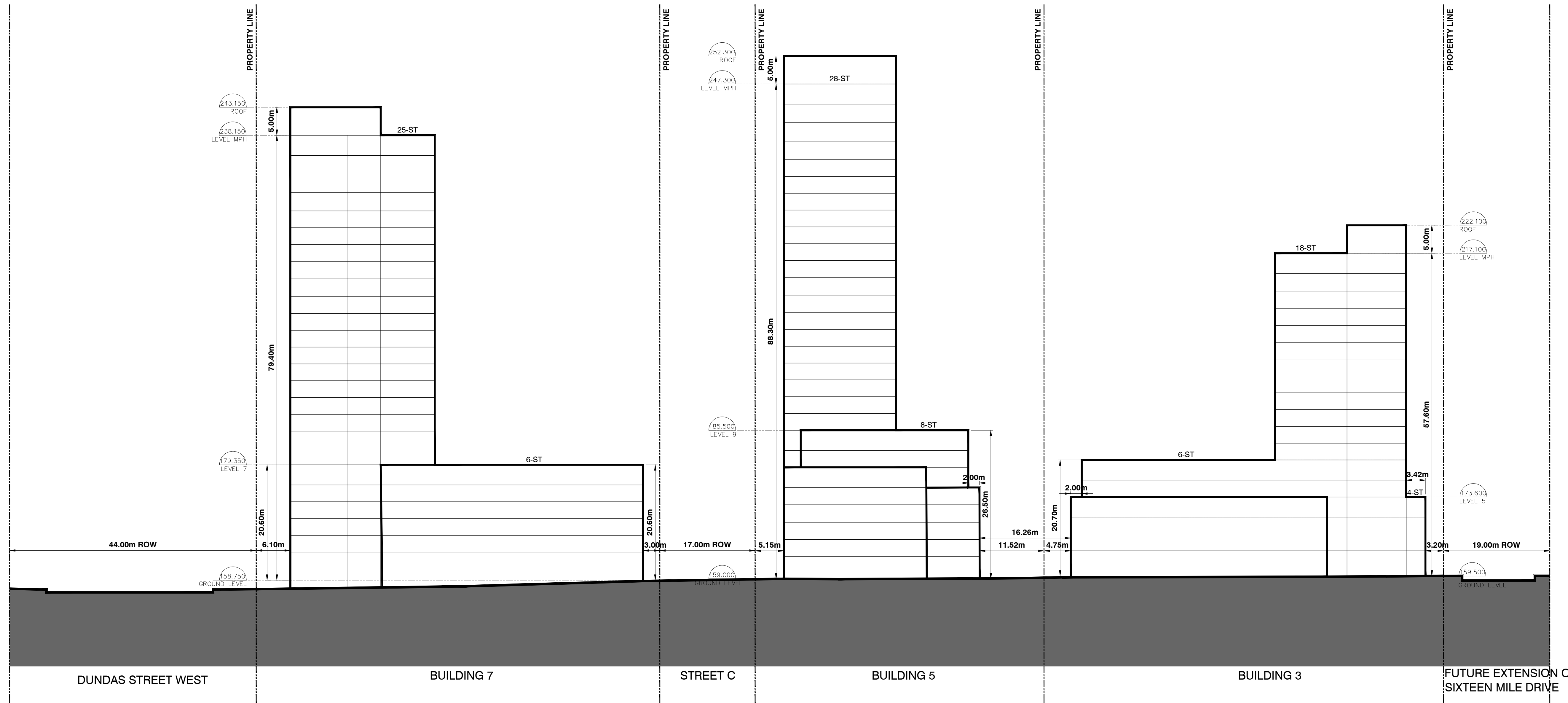
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Project No.	23-109	Drawing No.	A477



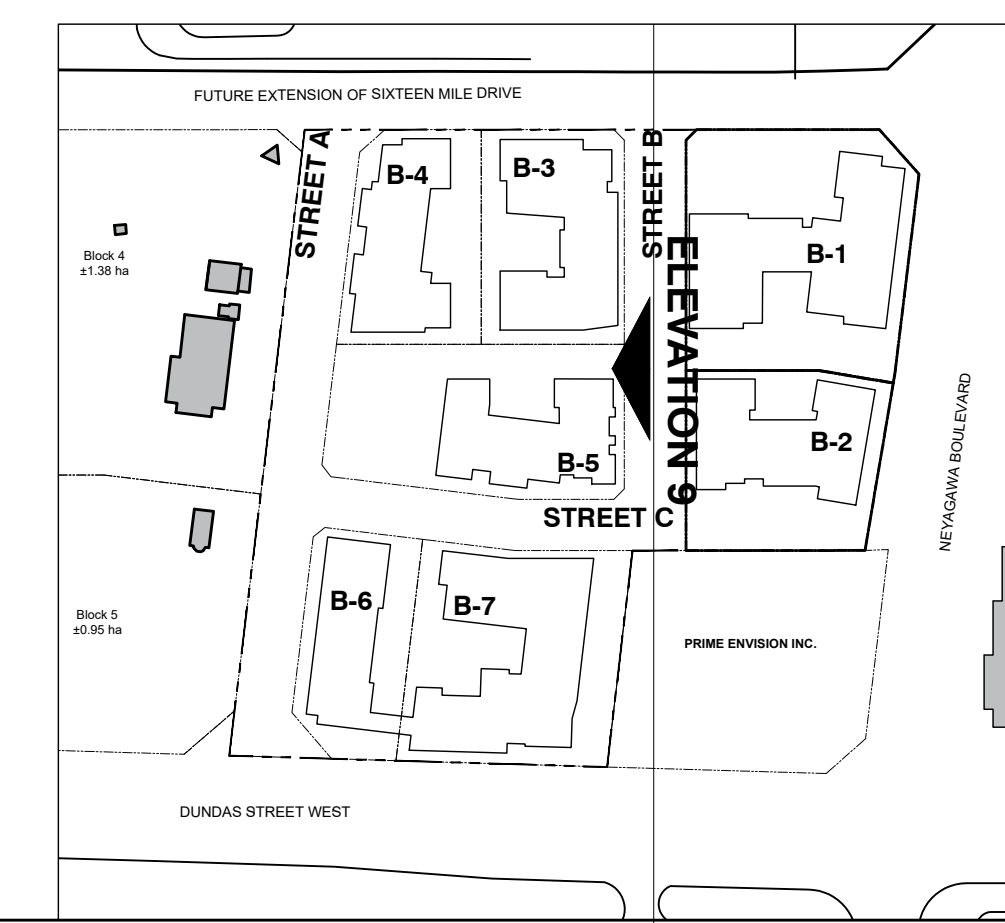


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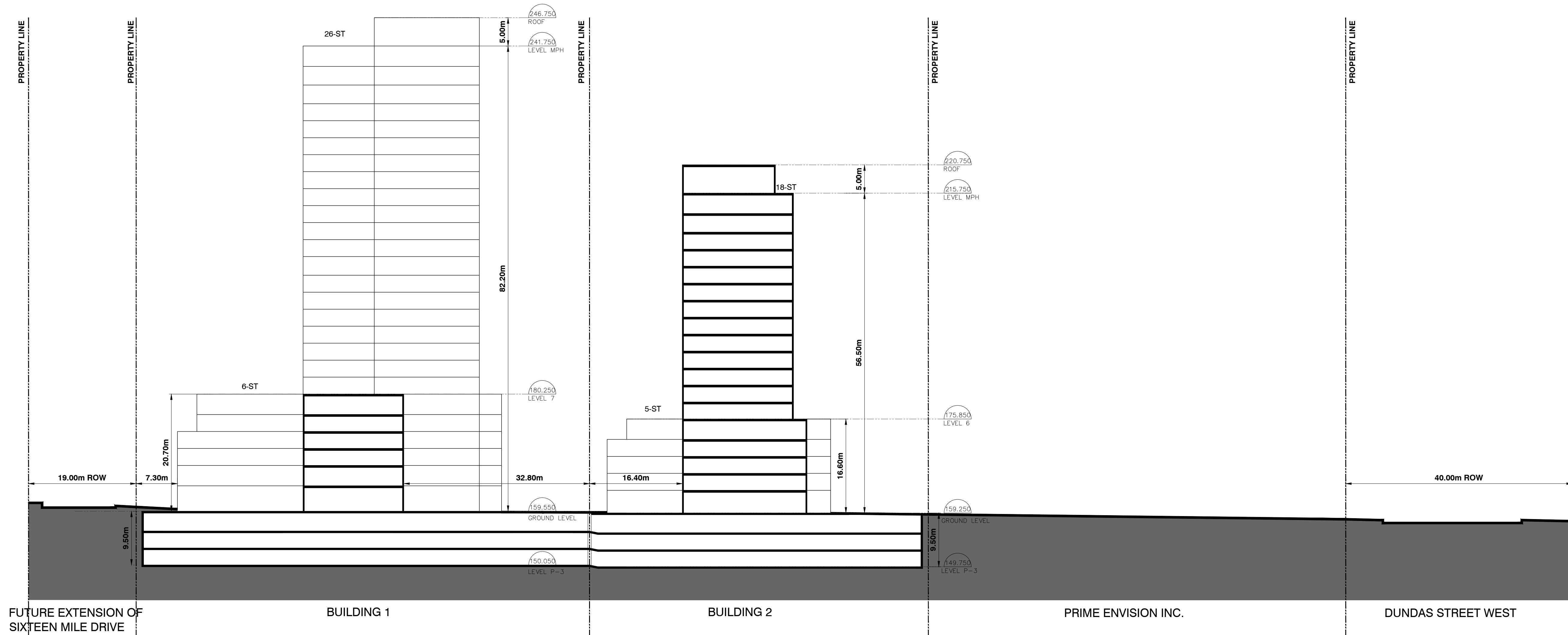
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Project No. 23-109	Drawing No. A478





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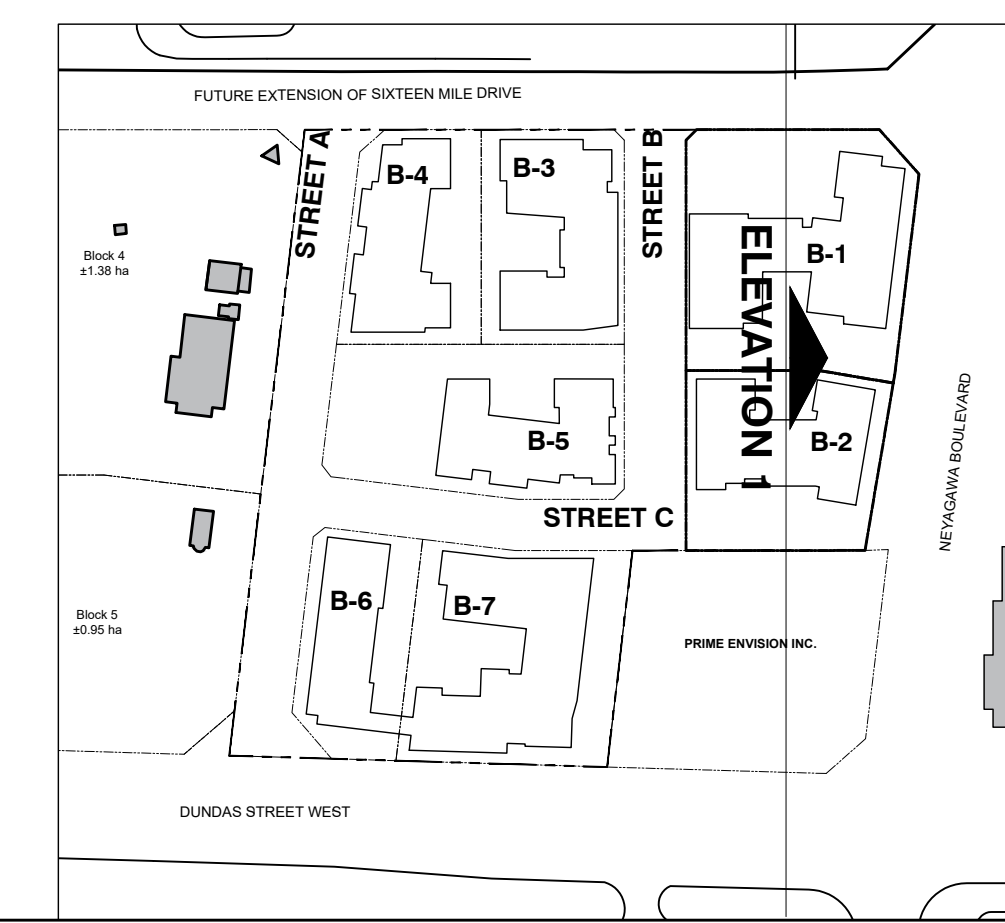
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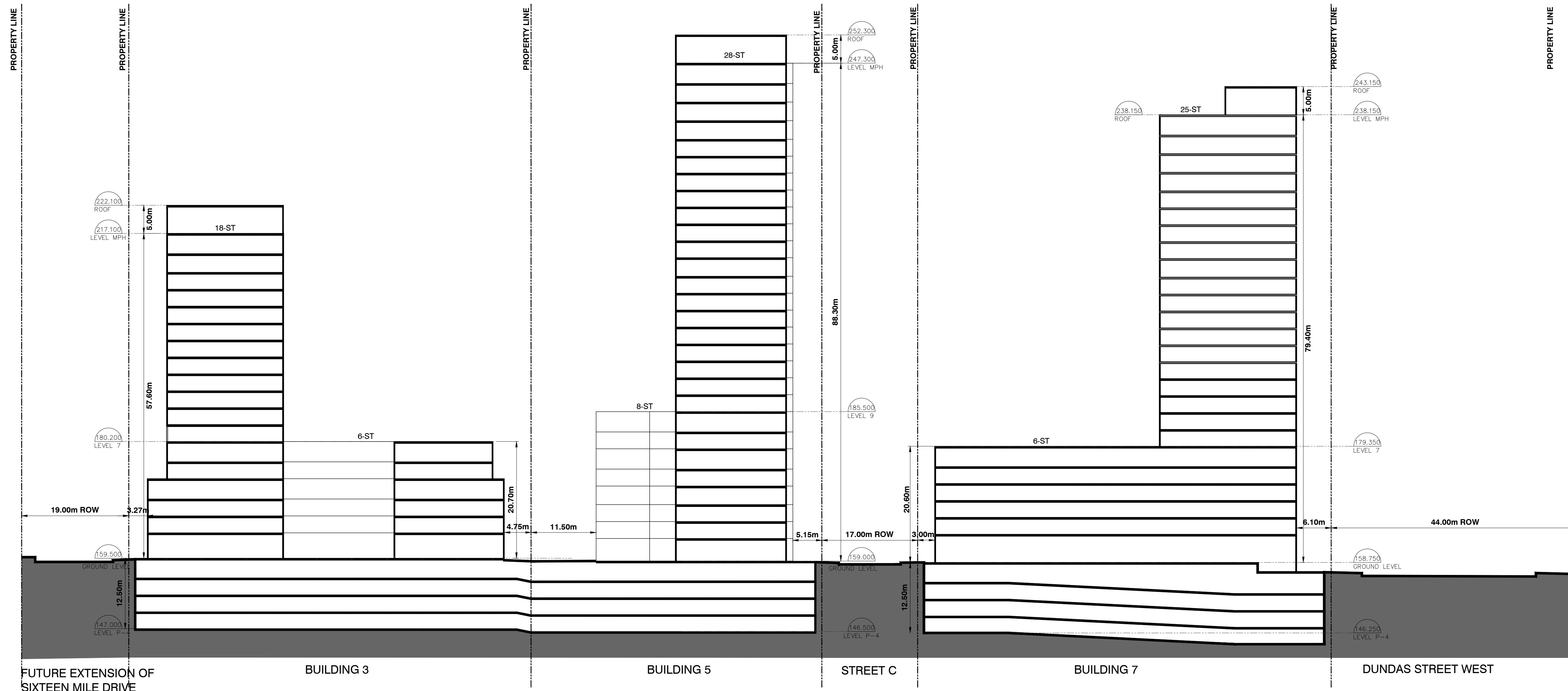
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Checked CW	Date MARCH 2024

Title  
SITE ELEVATION

Project No. 23-109	Drawing No. A480
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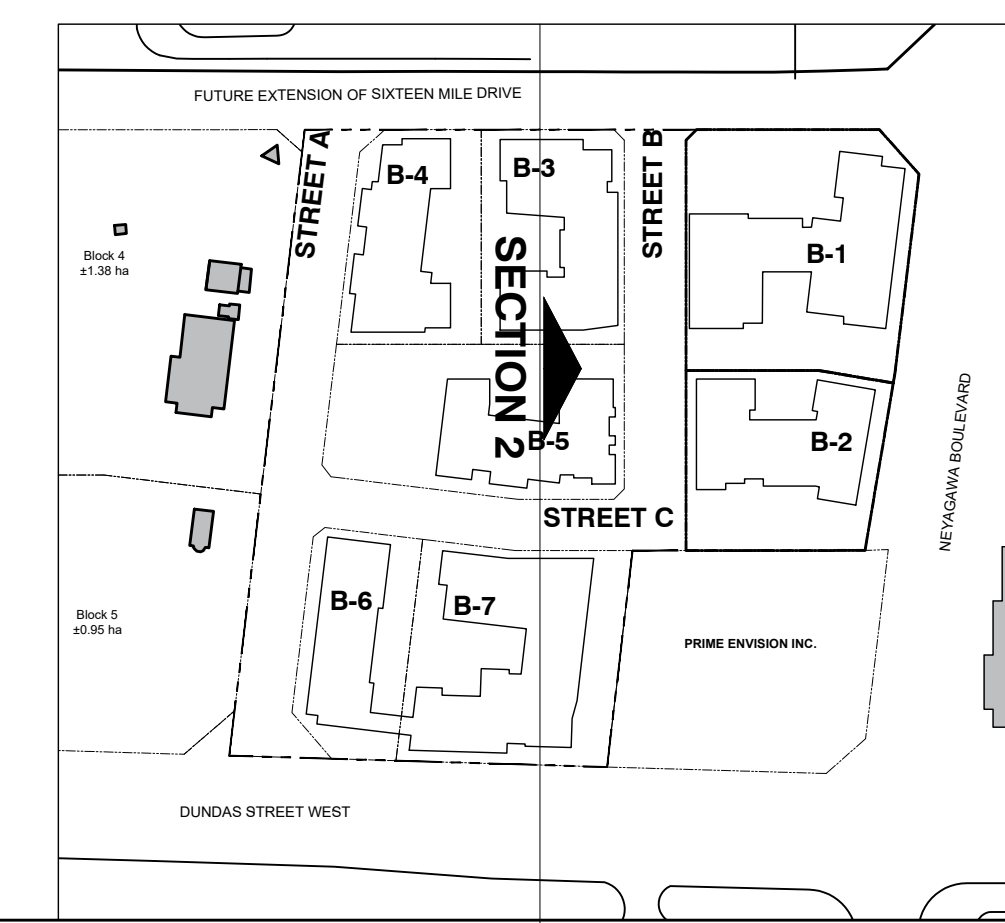


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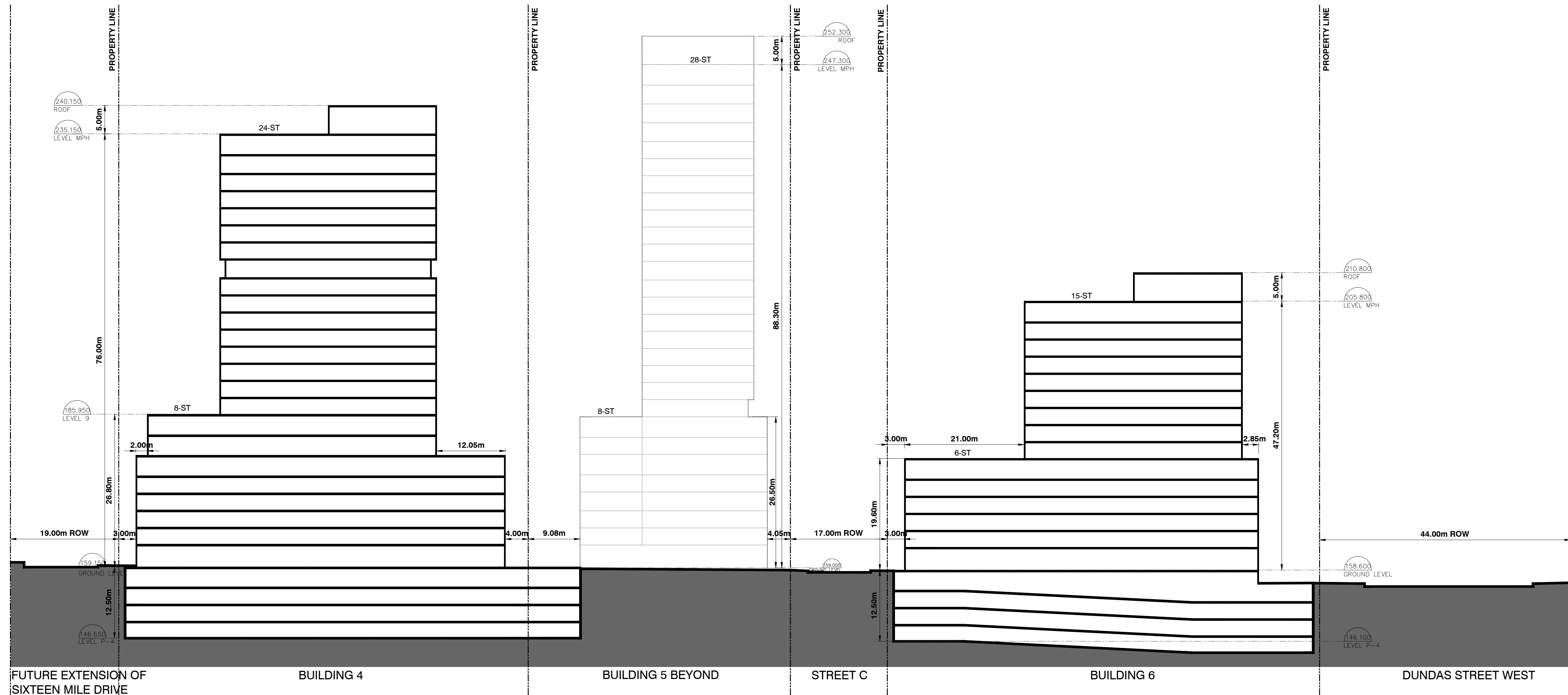
3056 NEYAGAWA BLVD  
 OAKVILLE, ON

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Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024
Title SITE ELEVATION	
Project No. 23-109	Drawing No. A481





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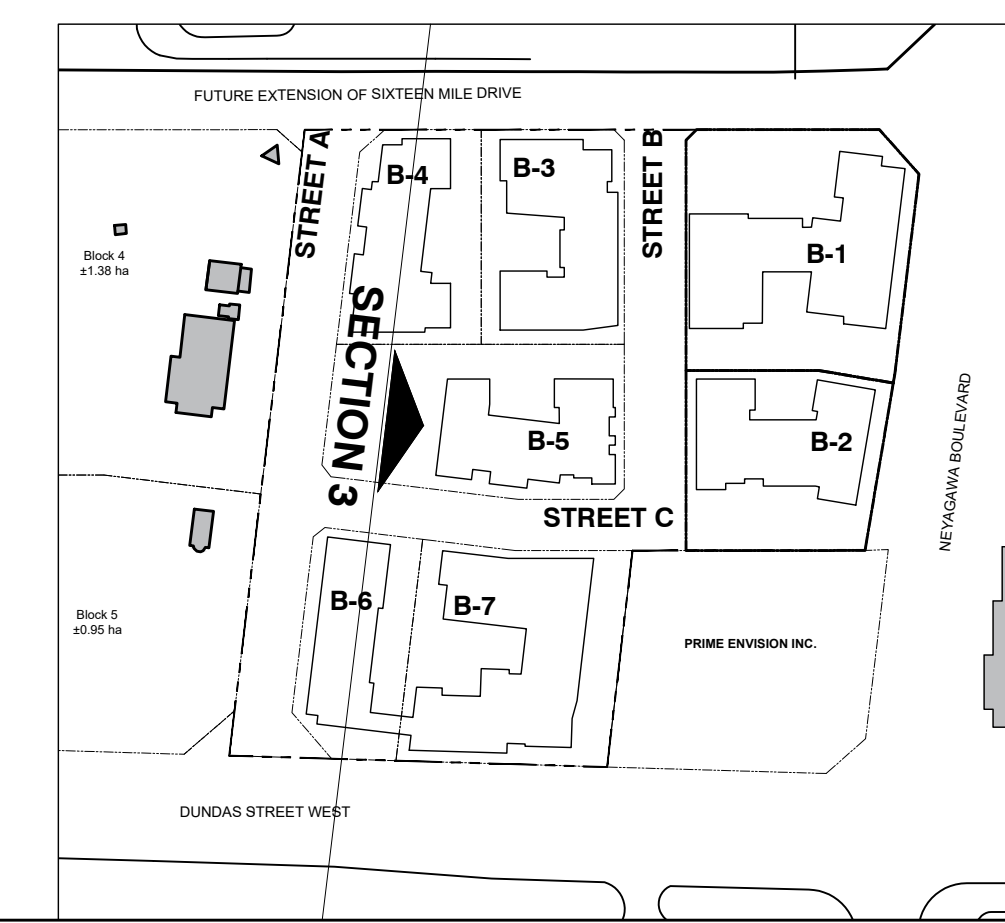
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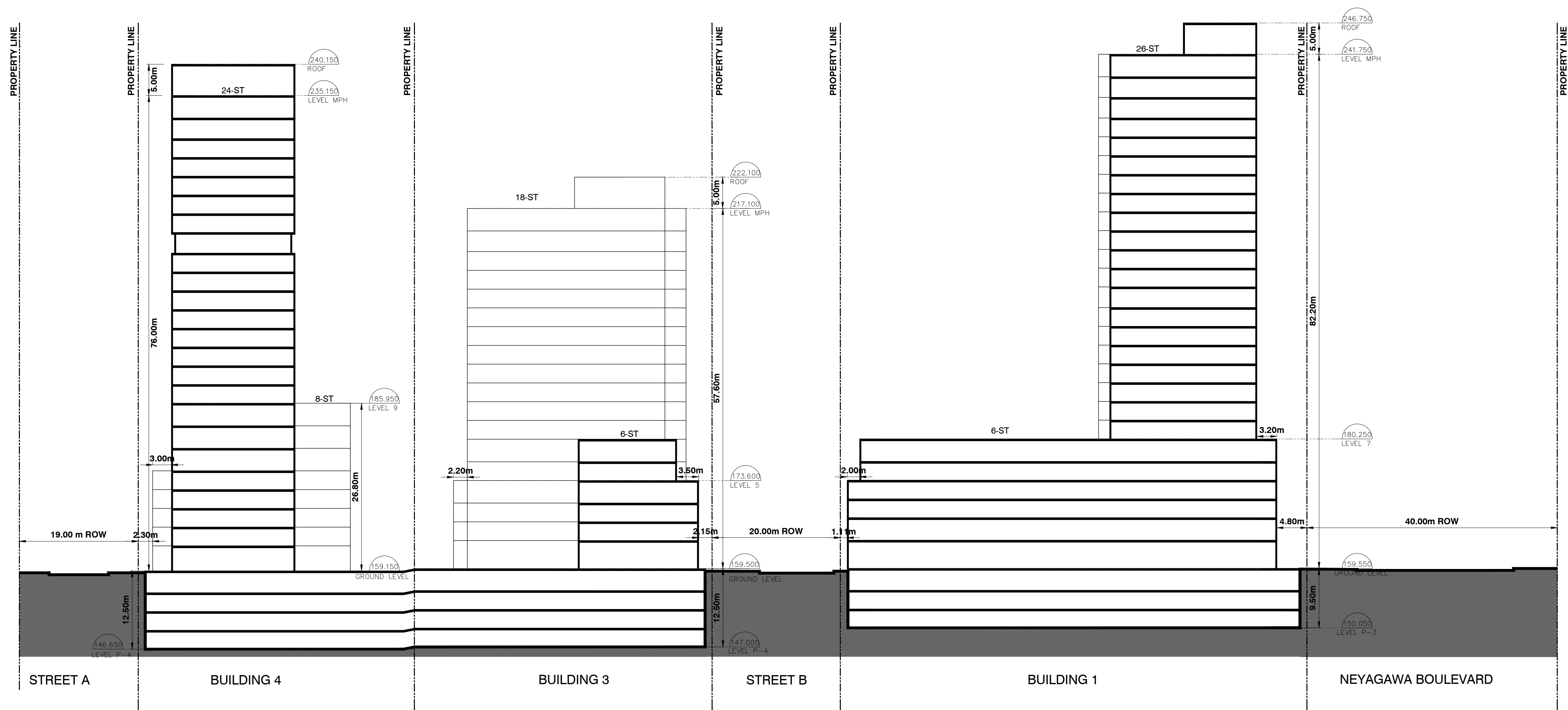
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Checked CW	Date MARCH 2024

Title  
SITE ELEVATION

Project No. 23-109	Drawing No. <b>A482</b>
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03	ISSUED FOR OPA & ZBA	06 DEC 2024
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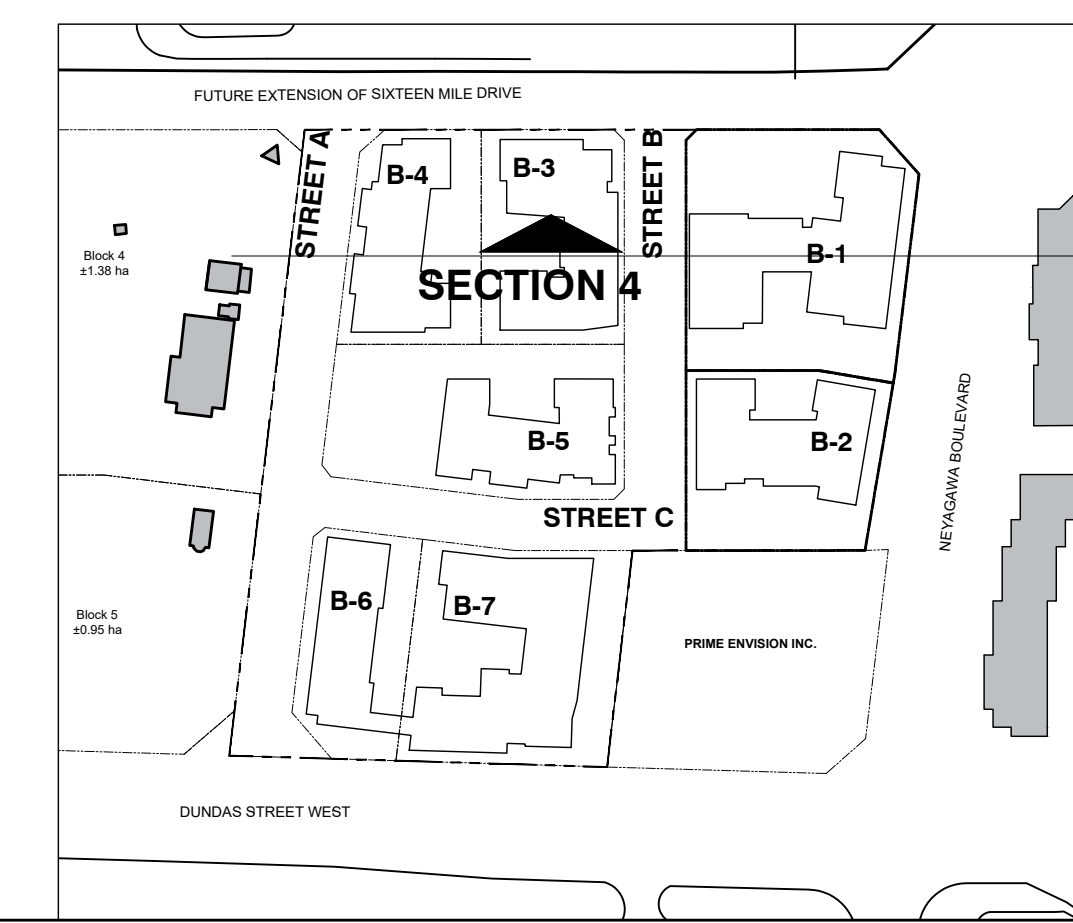
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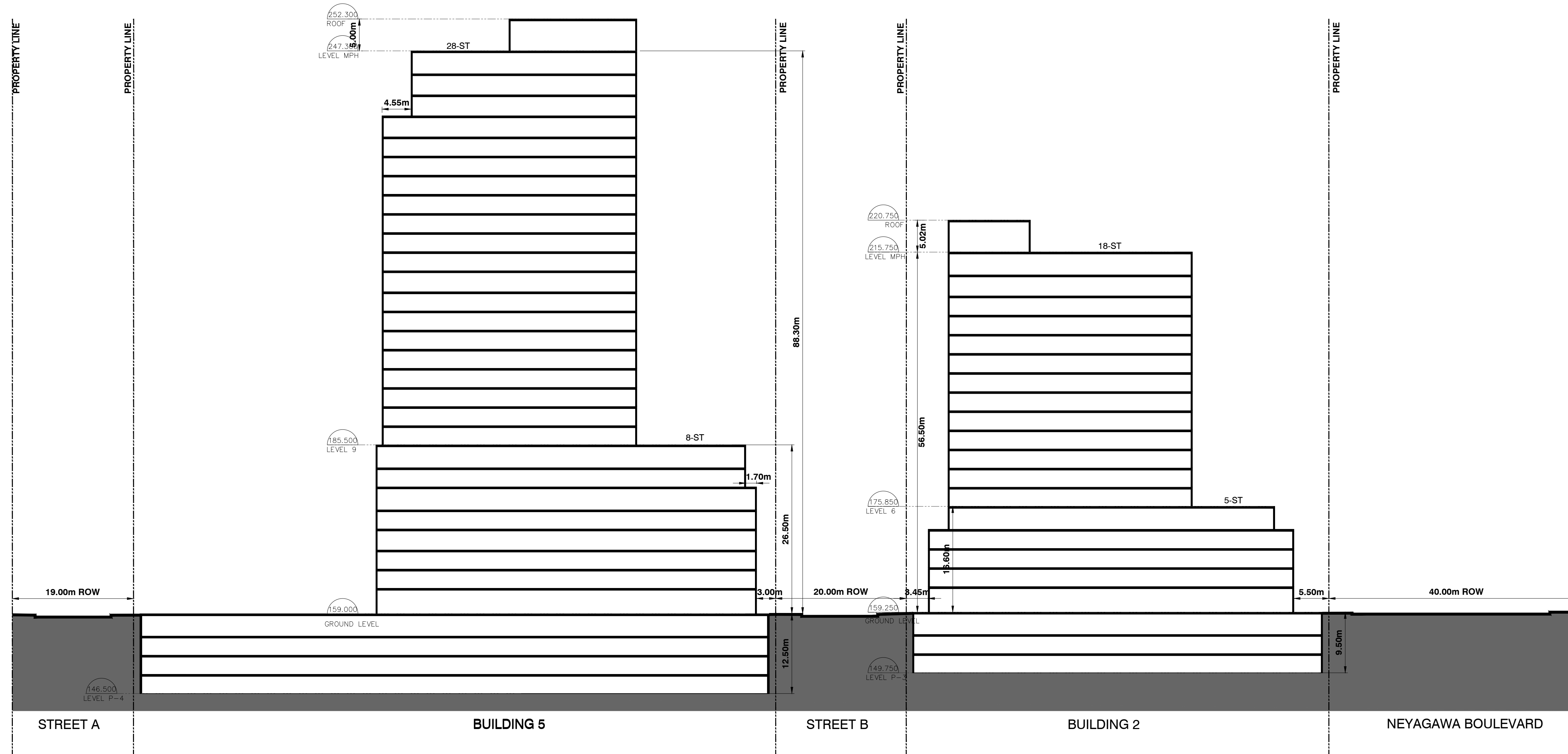
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Checked	CW	Date	MARCH 2024

Title  
 SITE ELEVATION

Project No.	23-109	Drawing No.	A483
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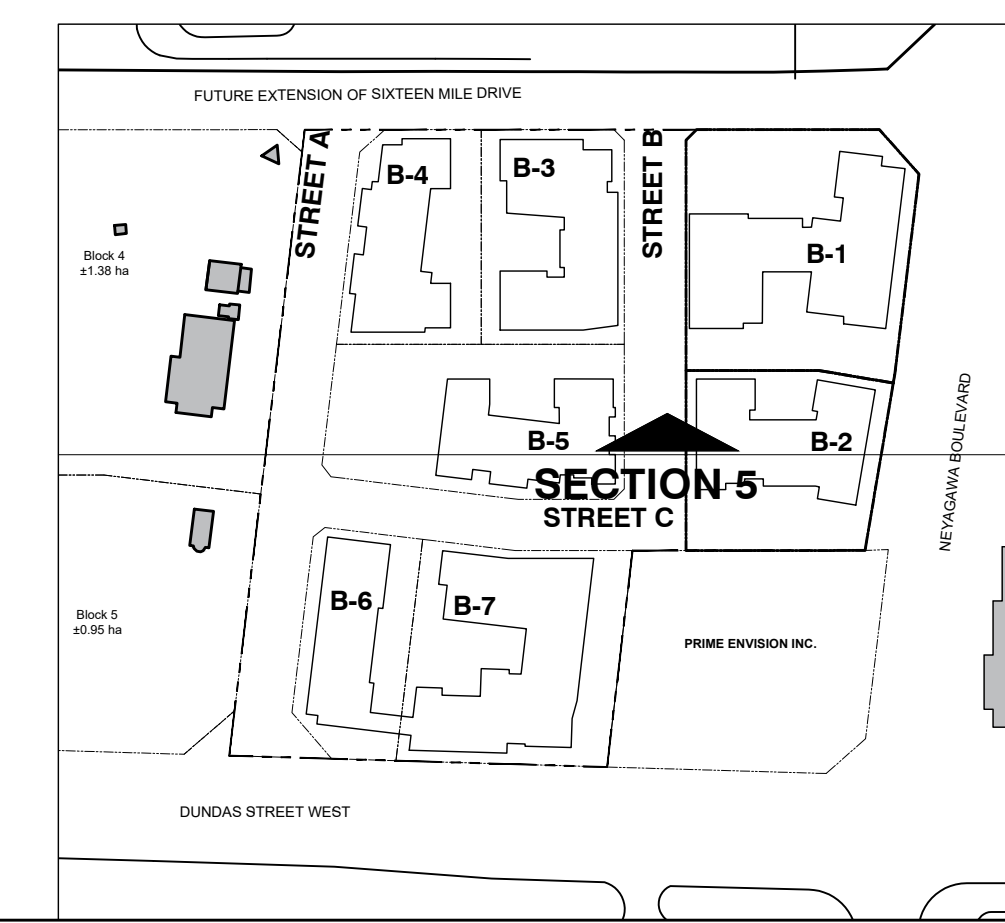


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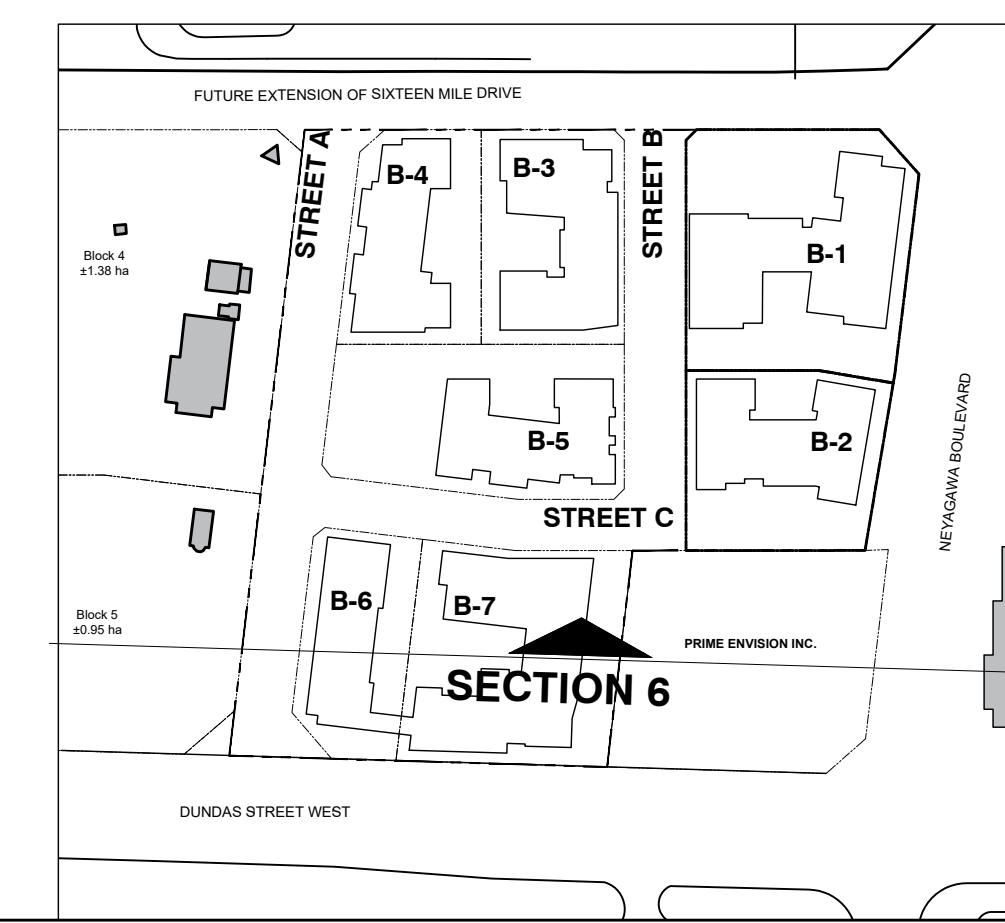
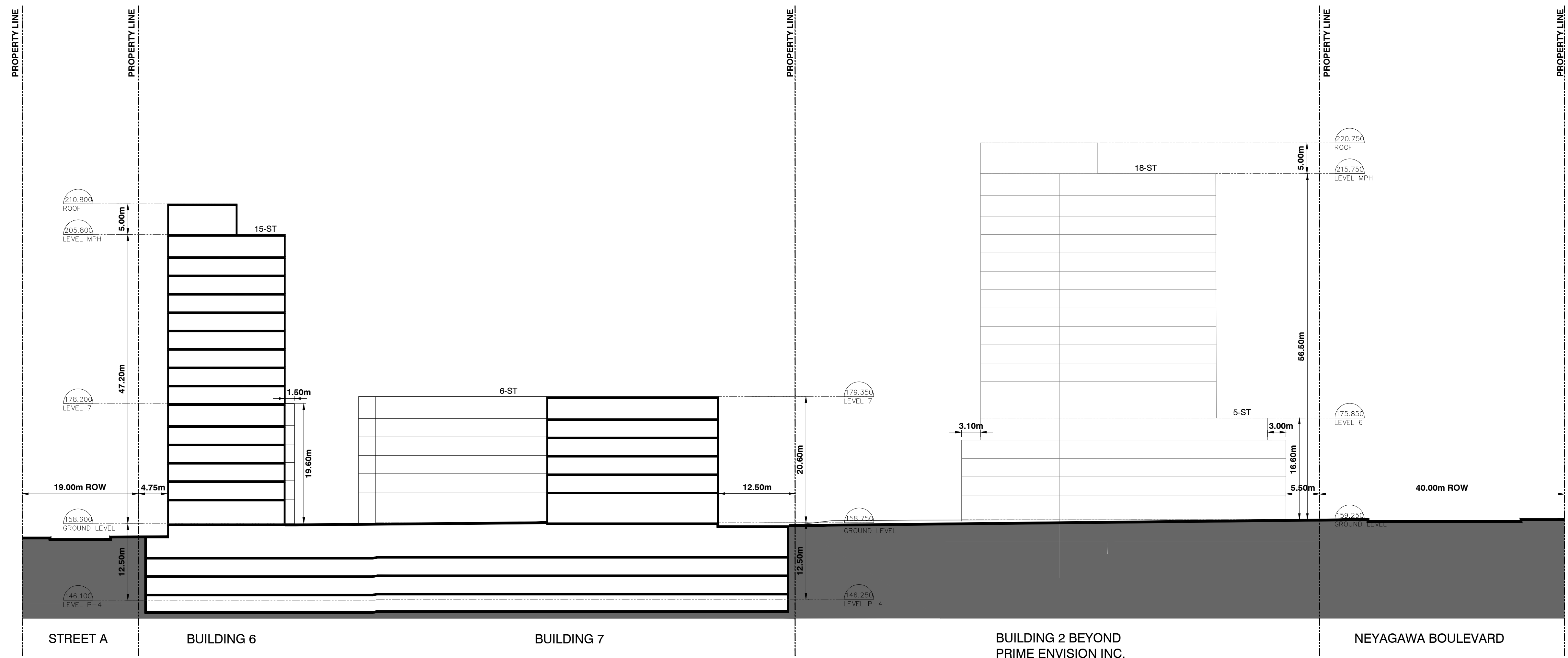
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Title SITE ELEVATION	
Project No. 23-109	Drawing No. <b>A484</b>





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Drawn SR	Scale 1:400
Checked CW	Date MARCH 2024
Title SITE ELEVATION	
Project No. 23-109	Drawing No. A485



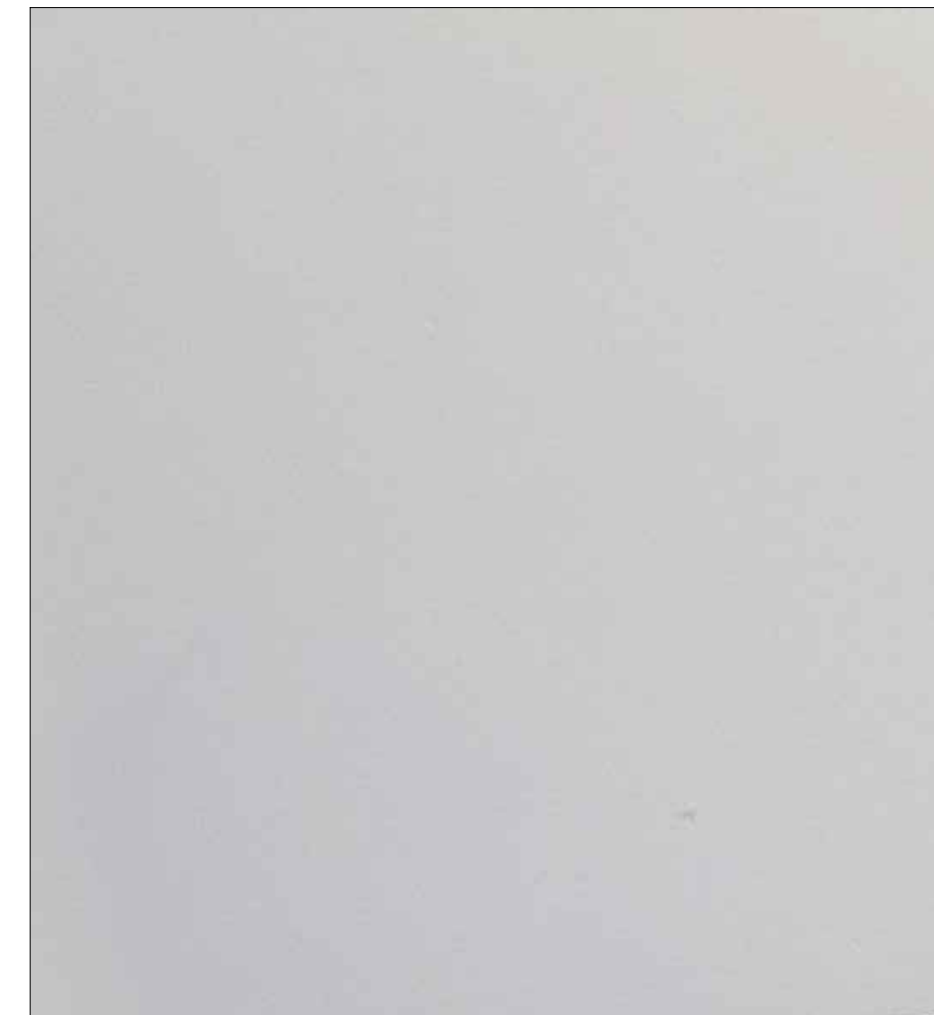
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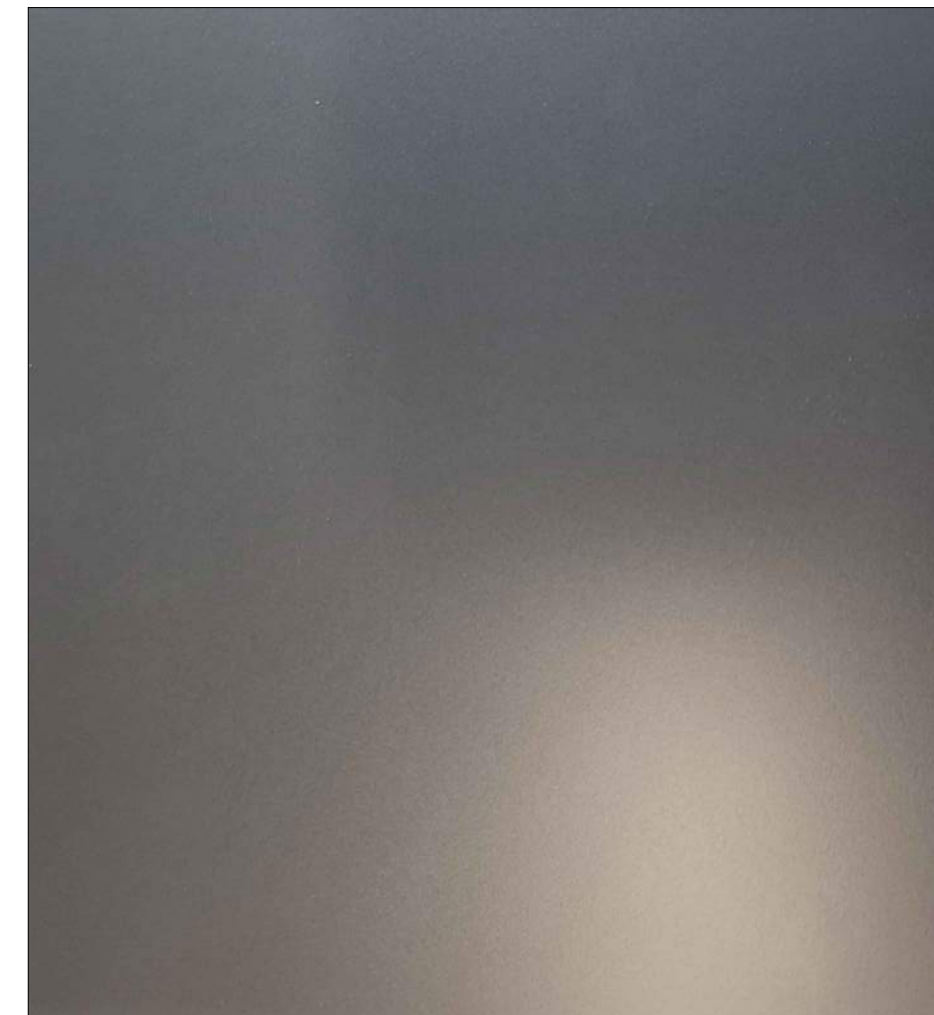
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 PODIUM LEVEL BRICK  
 YANKEE HILL 433 SANDFACE



**BRICK - BR02**  
 UPPER PODIUM LEVEL BRICK  
 MERIDIAN SILVERSTONE



**METAL PANEL - MT-01**  
 TOWER CLADDING  
 LILY WHITE



**METAL PANEL - MT-02**  
 MULLION  
 SPARKLING ELEPHANT



**SPANDREL - SP-01**  
 ALL SPANDREL GLAZING  
 GREY SHOWER



**GLAZING - GL-01**  
 CLEAR GLASS

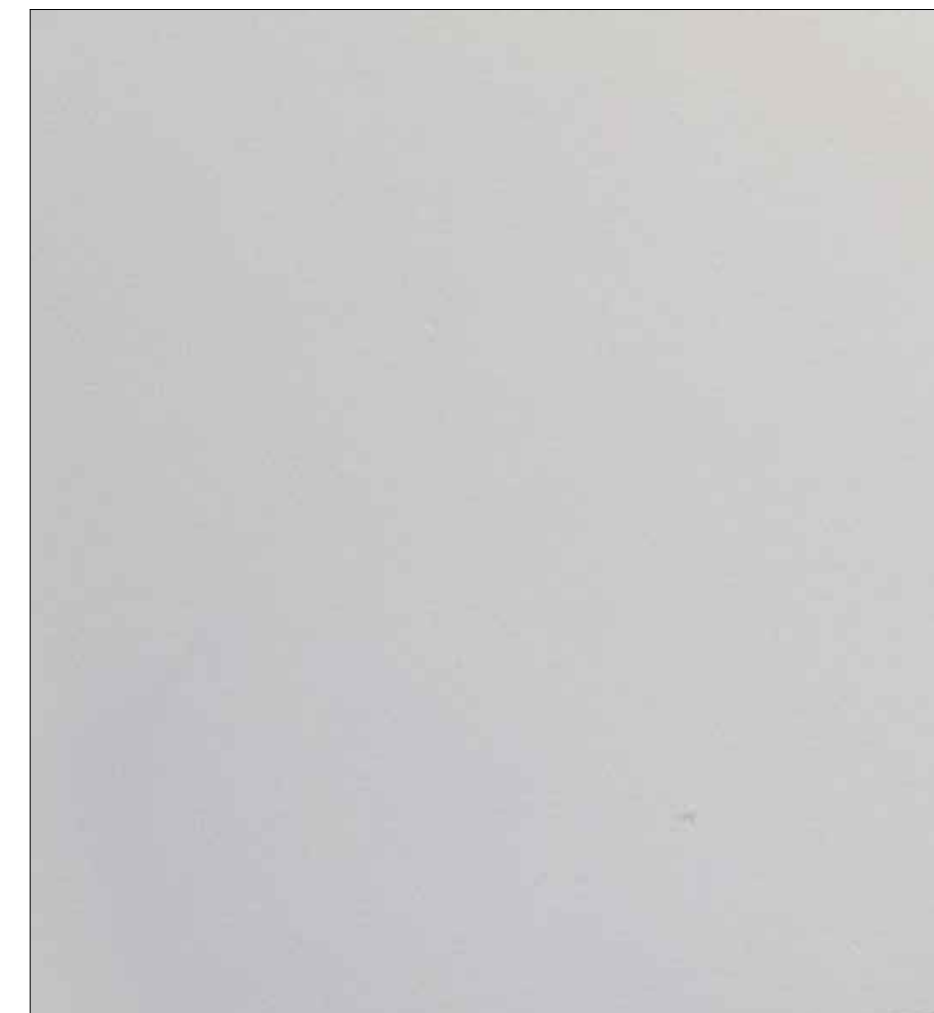
**BUILDING 02**



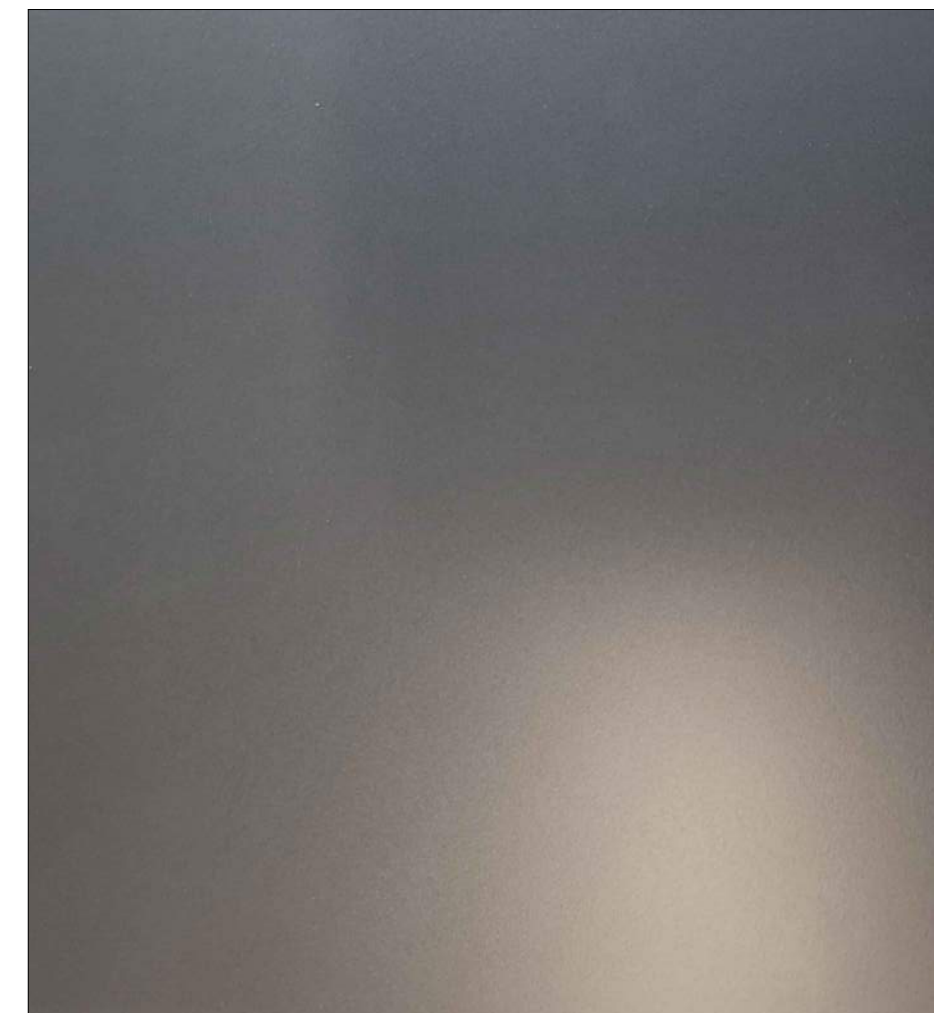
**BRICK - BR03**  
 PODIUM LEVEL BRICK  
 YANKEE HILL 106 OXIDE



**BRICK - BR04**  
 UPPER PODIUM LEVEL BRICK  
 MERIDIAN STRATHROY



**METAL PANEL - MT-01**  
 TOWER CLADDING  
 LILY WHITE



**METAL PANEL - MT-02**  
 TOWER CLADDING & MULLION  
 SPARKLING ELEPHANT



**SPANDREL - SP-01**  
 ALL SPANDREL GLAZING  
 GREY SHOWER



**GLAZING - GL-01**  
 CLEAR GLASS

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CW	MARCH 2024

Title  
**BLOCK 1**  
**MATERIAL SAMPLE**

Project No.	Drawing No.
23-109	<b>A700</b>