

SITE STATISTICS		REQUIRED PARKING-MIXED USE BLDG A		REQUIRED BICYCLE PARKING-MIXED USE BLDG A		MIXED USE MID-RISE UNITS COUNT & GFA		GFA P/F FLOOR (Sq.m)		Accessible Units			
BLOCK 300		Resident Spots (1/Unit)	157 Spots	Resident spots (0.75/Unit)	118 Spots	UNIT NO.	1B	1B+D	2B	2B+D	Total	GFA P/F FLOOR (Sq.m)	Accessible Units
GFA TOTAL*	14,622.57 Sq.M	Visitors (0.25/Unit)	39 Spots	Visitors (0.25/Unit)	29 Spots	1ST FLOOR	7	4	1	1	13	2,094.24 Sq.M	2 1BR
FSI	1.88	Total No. of required spots	196 Spots	Total No. of required spots	147 Spots	2ND FLOOR	6	14	15	1	36	2,509.73 Sq.M	3 1BR, 3 2BR
COVERED AREA	1.88	***Commercial	36 Spots	***Commercial	3 Spots	3RD FLOOR	6	14	15	1	36	2,528.80 Sq.M	3 1BR, 3 2BR
TOTAL NO. OF UNITS	175 Units	TOTAL NO. OF REQUIRED SPOTS	232 Spots	TOTAL NO. OF REQUIRED SPOTS	160 Spots	4TH FLOOR	6	14	14	2	36	2,528.80 Sq.M	3 1BR, 2 2BR
						5TH FLOOR	6	14	14	2	36	2,528.80 Sq.M	3 1BR, 2 2BR
						TOTAL	31	60	59	7	157	11,190.37 Sq.M	24
						% OF UNITS	20%	38%	38%	4%	100%		

STATISTICS BLDG B & C		REQUIRED PARKING - DUPLEXES 1/1H (BLDG B & C)		PROVIDED BICYCLE PARKING-MIXED USE + 1/1H		DUPLICES TOWNHOUSES (1/1H)		TOTAL AREA OF GFA P/BLOCK				
GFA TOTAL	1,592.09 Sq.M	Resident spots (1/Unit)	18 Spots	UG Parking Spots (Surface Garage)	134 Spots	UNIT A (CORNER NORTH)	UNIT B (MIDDLE NORTH)	UNIT C (MIDDLE SOUTH)	UNIT D (MIDDLE SOUTH)			
NO. OF UNITS	18 Units	Resident spots (Outside-Driveway)	18 Spots	UG Parking Spots (Surface)	48 Spots	1ST FLOOR	17.18	15.32	15.32			
PARKING EFFICIENCY	40.43 Sq.M	TOTAL PROVIDED PARKING (BLDG A+B+C)	36 Spots	TOTAL NO. OF PROVIDED SPOTS	182 Spots	2ND FLOOR	55.46	47	54.25			
		MIXED USE + DUPLEXES 1/1H	265 Spots	REQUIRED BF PARKING-MIXED USE BLDG A	182 Spots	3RD FLOOR	48.68	53.79	47.93			
				Residential/Visitors	6 Spots	4TH FLOOR	0	0	0			
				Commercial	2 Spots	TOTAL AREA P/ UNIT (Sq.M)	121.32	116.11	117.50	114.90		
				PROVIDED BF PARKING-MIXED USE BLDG A	6 Spots	TOTAL AREA P/ BLOCK	NO. UNIT A	NO. UNIT B	NO. UNIT C	NO. UNIT D	UNITS P/BLOCK	TOTAL AREA OF GFA P/BLOCK
				Residential (B UG Parking)	4 Spots							
				Visitors (B Surface Courtyard)	2 Spots							
				Commercial (B Surface Courtyard)	2 Spots							

TOTAL 54 PARKING SPOTS AT SURFACE
 20 PARKING SPOT INSIDE BLOCK 300
 11 SPOT ALONG LANE WAY
 7 SPOT ALONG CARDING MILL TRAIL
 5 SPOT ALONG WISTERIA WAY
 7 SPOT ALONG IRONSIDE DR.
 4 SPOT ALONG NORTH PARK BLVD

TOTAL 48 BIKE SPOTS AT SURFACE

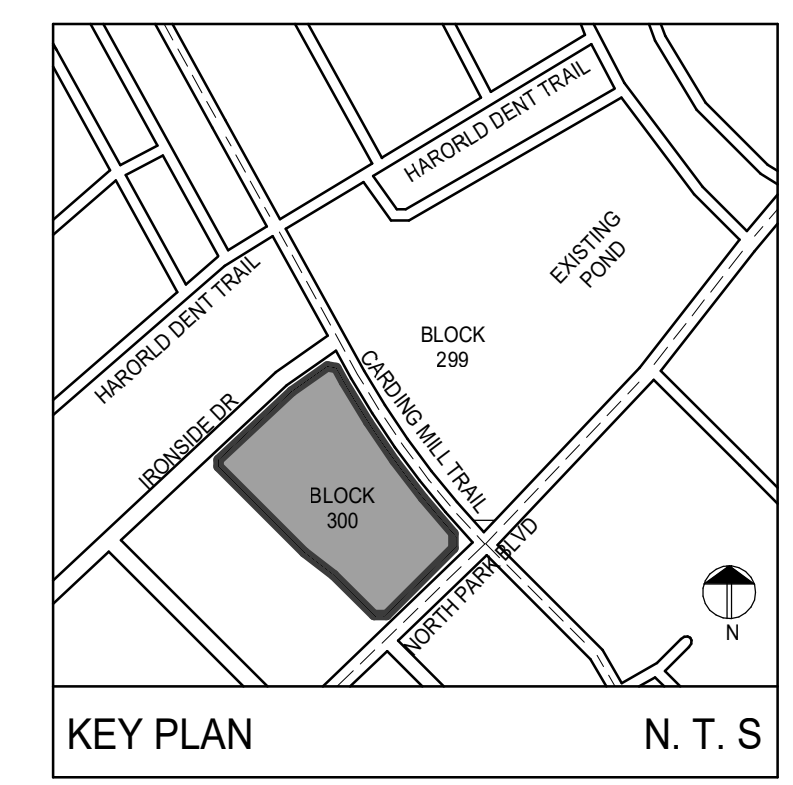
INFORMATION TAKEN FROM
 RADY-PENTEX & EDWARD SURVEYING LTD., D.L.S.
 PLAN OF SUBDIVISION OF PART OF LOTS 17, 18 AND 19, CONFESSION 1 NORTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

BEARING NOTES
 BEARINGS ARE ORIO UTM ZONE 17, NAD83 (ORIGINAL) DERIVED FROM SCP 0018190318 NORTH 4813004.025 EAST 602587.228 SCP 0418910303 NORTH 4816488.659 EAST 602774.285

COORDINATES ARE UTM ZONE 17, NAD83 (ORIGINAL) TO UTM ACCURACY PER SEC. 14 (3) OF OREG. 219/710, AND CANNOT IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

ALL DIMENSIONS BETWEEN FOUND MONUMENTS ARE PLAN 20R-20714 AND MEASURED UNLESS NOTED OTHERWISE.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE CORRECTED SCALE FACTOR OF 0.9997069.



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TN = TRUE NORTH
 PN = PROJECT NORTH

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4	ISSUED FOR PERMIT	2023-03-24
5	ISSUED FOR TENDER	2023-05-23
6	ISSUED FOR PERMIT-V2	2023-06-27
7	ISSUED FOR POST TENDER	2023-07-28
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9	ISSUED FOR PERMIT-V2-REV 01	2023-08-14
10	ISSUED FOR PERMIT-V3	2023-08-21
11	ADDENDUM 01	2023-09-28
12	ADDENDUM 02R1	2024-02-08
13	BLAST WALL COORDINATION	2024-02-26
14	ISSUED FOR CONSTRUCTION	2024-04-19
15	ISSUED FOR SI-06	2024-11-07

Project Title

Project Description

NORTH PRESERVE BLOCK 300

CARDING HOUSE

3250 CARDING MILL TRAIL, OAKVILLE, ONTARIO

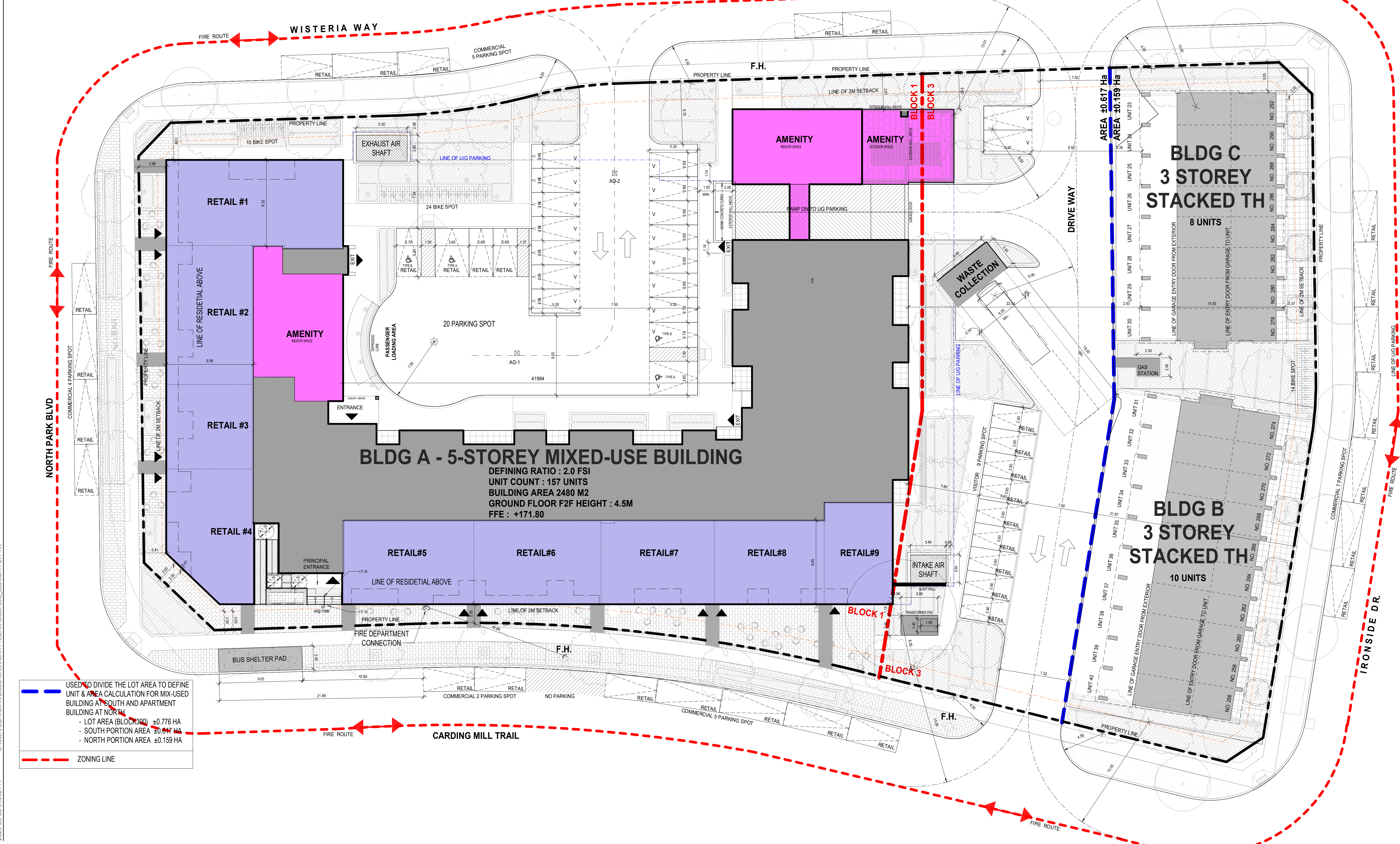
MATTAMY HOMES

Project No. 21010
 Scale 1:200
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 Checked By MG/EZ

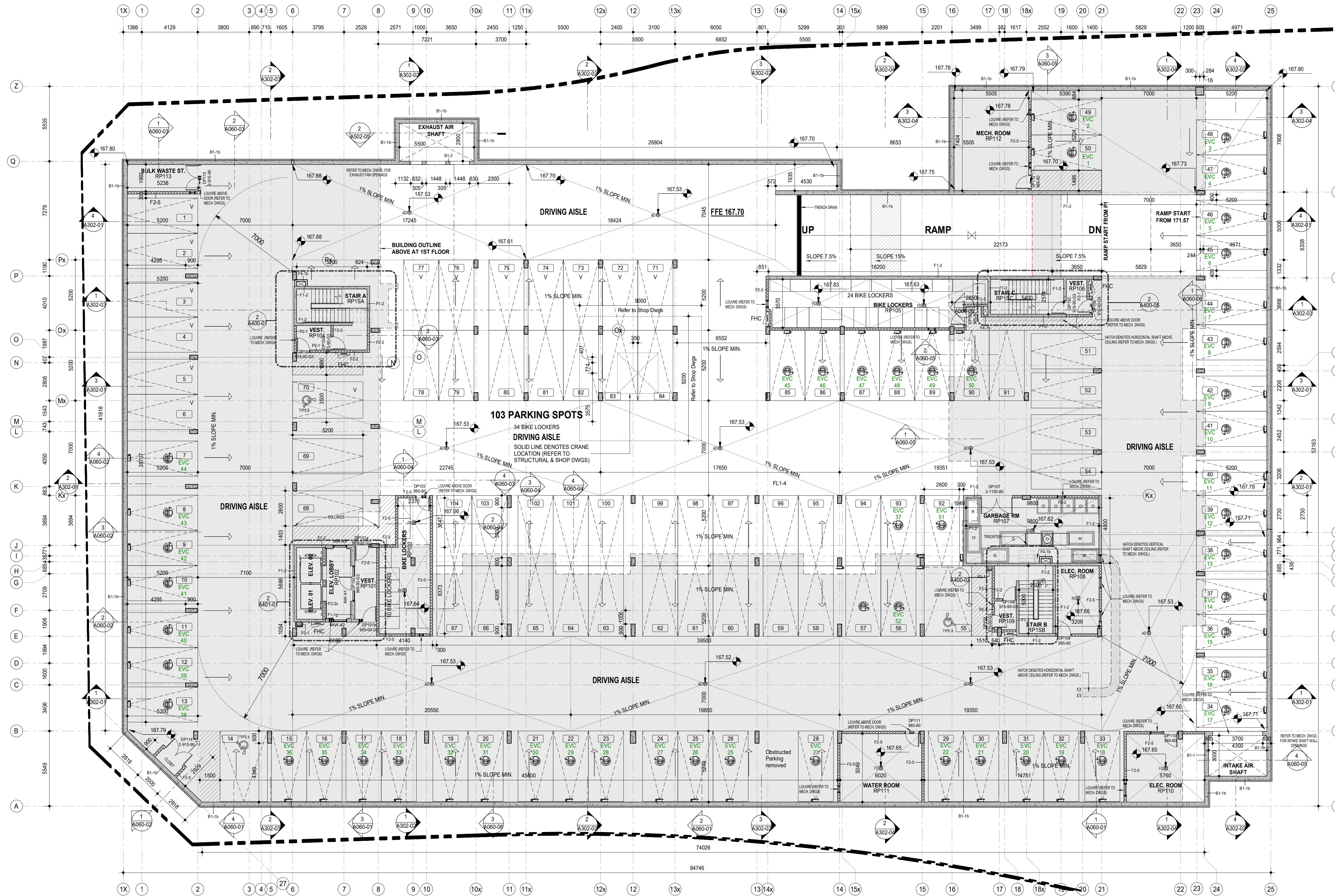
SITE PLAN

BUILDING A, B & C

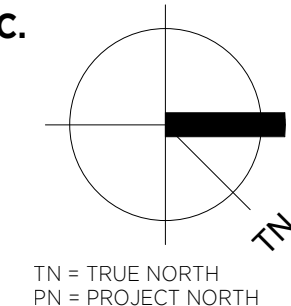
A001-01



Room Schedule-P2		
Num.	Name	Level
RP201	VEST.	U/G PARKING P2
RP202	ELEV. LOBBY	U/G PARKING P2
RP204	VEST.	U/G PARKING P2
RP205	BIKE LOCKERS	U/G PARKING P2
RP206	VEST.	U/G PARKING P2
RP207	GEO THERMAL	U/G PARKING P2
RP208	BIKE LOCKERS	U/G PARKING P2
RP209	VEST.	U/G PARKING P2
RP210	BIKE LOCKERS	U/G PARKING P2
RP211	BIKE LOCKERS	U/G PARKING P2
RP213	STORAGE	U/G PARKING P2
RP214	ELEV. 02	U/G PARKING P2



U/G PARKING P1
1 : 150



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| 7 | ISSUED FOR PERMIT-V2-REV 01 | 2023-08-10 |
| 8 | ISSUED FOR CONDITIONAL PERMIT | 2023-08-14 |
| 9 | ADDENDUM 01 | 2023-09-28 |
| 10 | ADDENDUM 03 | 2023-09-28 |
| 11 | ISSUED FOR CONSTRUCTION PERMIT | 2024-04-19 |
| 12 | ISSUED FOR SI-02 | 2024-08-22 |

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**NORTH PRESERVE
BLOCK 300**

**CARDING
HOUSE**

3250 CARDING MILL TRAIL, OAKVILLE,
ONTARIO

MATTAMY HOMES

Project No. 21010
Scale 1 : 150
Drawn By NY/SS
Checked By MG/EZ

SCHEDULE_FLR-P1 PLAN

U/G PARKING

A050-02