



Joshua Creek

NORTH

URBAN DESIGN BRIEF

DECEMBER 2024

mattamyHOMES



OAKVILLE

First Submission

Prepared by:
NAK Design Strategies

Prepared for:
Mattamy Homes

CONTENTS

1.0 DESIGN VISION & PRINCIPLES	1	4.0 DEVELOPMENT FRAMEWORK	15
1.1 Design Vision	2	4.1 Boundary Interface	15
1.2 Community Guiding Principles & Objectives	2	4.2 Pattern of Land Uses	17
2.0 CONTEXTUAL ANALYSIS	5	4.3 Street Network	19
2.1 Existing Natural Features, Topography & Vegetation	5	4.4 Natural Heritage System	21
2.2 Surrounding Land Uses & Built Form Character	6	5.0 DEVELOPMENT MASTER PLAN	23
2.3 Views & Vistas	8	6.0 DETAILED DESIGN DIRECTION	25
2.4 Gateways & Landmarks	8	6.1 Public Spaces & Connections	25
2.5 Transportation Networks	8	6.2 Neighbourhood Centre Area	35
3.0 POLICY CONTEXT	9	6.3 Low Density Residential Areas	41
3.1 North Oakville East Secondary Plan	11	6.4 Priority Lots	53
3.2 North Oakville Urban Design & Open Space Guidelines	11	6.5 Sustainability Features	59
3.3 North Oakville Trails Plan	12	7.0 IMPLEMENTATION	61
3.4 Livable By Design Manual	13		
3.5 North Oakville Sustainability Checklist	13		

THIS PAGE INTENTIONALLY BLANK

1.0

DESIGN VISION & PRINCIPLES

The overall Joshua Creek North community consists of a combined 188 hectares (464 ac) of land that is designated as part of the North Oakville Secondary Plan Area. The community development's design vision and guiding principles are rooted in the Town's North Oakville East Secondary Plan, reflecting North Oakville's "distinct historical roots and small-town heritage and Trafalgar Township's village rural heritage, with nodal development, prestige industry, and green linkages continuing to define Oakville's unique landscape."

The Joshua Creek North development comprises approximately 63 hectares (156 acres) of the overall Joshua Creek community and is located on the south side of Burnhamthorpe Road East, north of Highway 5, between Ninth Line to the east and Trafalgar Road to the west. This Urban Design Brief (UDB) provides design direction for the development of a mixture of single detached houses, townhouses and mixed uses located adjacent to a natural heritage system of approximately 33.5 hectares (acres), as well as two (2) village squares and two (2) stormwater management ponds (SWM).

1.1 Design Vision

Integrated with the broader Joshua Creek development, Joshua Creek North will be planned as an compact and pedestrian-oriented urban community. Served by an interconnected transit network, it will comprise a broad range of housing opportunities with an integrated natural heritage and open space system that runs diagonally north-south through the subject lands.

Within Joshua Creek North, the development will transition from medium density built form along Burnhamthorpe Road East and the major collector road to low density residential neighbourhoods. The east and west sides of the subject lands are connected by Burnhamthorpe Road East and through a proposed trail connection across the Natural Heritage System (NHS). Community amenities shall include a series of open spaces, including village squares that serve as neighbourhood focal points, and Stormwater Management Ponds located adjacent to the NHS.

1.2 Community Guiding Principles & Objectives

Mattamy Joshua Creek North is intended as a model community that is designed to be an integral part of the larger North Oakville, the Town of Oakville and Halton Region communities. In order to achieve this, the following community goals and objectives have been established:

1.2.1 Community Guiding Principles

- Create a sustainable natural and open space system that links to the larger NHS beyond the Joshua Creek study area.
- Provide access and visibility to open space by developing an interconnected trail system, providing recreational opportunities for residents.
- Support a sustainable transportation network by increasing density in Neighbourhood Centre Areas, and providing convenient access to transit services and active transportation connections.
- Create compact, walkable, and pedestrian-scaled neighbourhoods with opportunities for mixed-uses.
- Encourage a variety of housing types, styles and densities that contribute to the character of the community.
- To provide parks and open spaces that offer a variety of active and passive recreation opportunities, in accessible, convenient locations for the majority of residents, and adjacent to medium-density uses.

1.2.2 Neighbourhood Objectives for Joshua Creek North

A set of key neighbourhood objectives have been established as part of the Joshua Creek Community study. These are as follows:

- **Natural Heritage System** - Joshua Creek North recognizes and enhances the Natural Heritage System (NHS) by strategically locating parks and stormwater management ponds adjacent to this feature.
- **Park System** - The village squares are designed to provide accessible open spaces for passive recreation and community activities.
- **Transit Supportive Development** - Pedestrian-friendly environments with sidewalks, cycling allowances, lane configurations and trails are designed to provide optimum neighbourhood accessibility.
- **Housing Diversity** - encourage a variety of residential built forms, types and sizes so that a broad range of demographic and homeowner needs are met within the community;

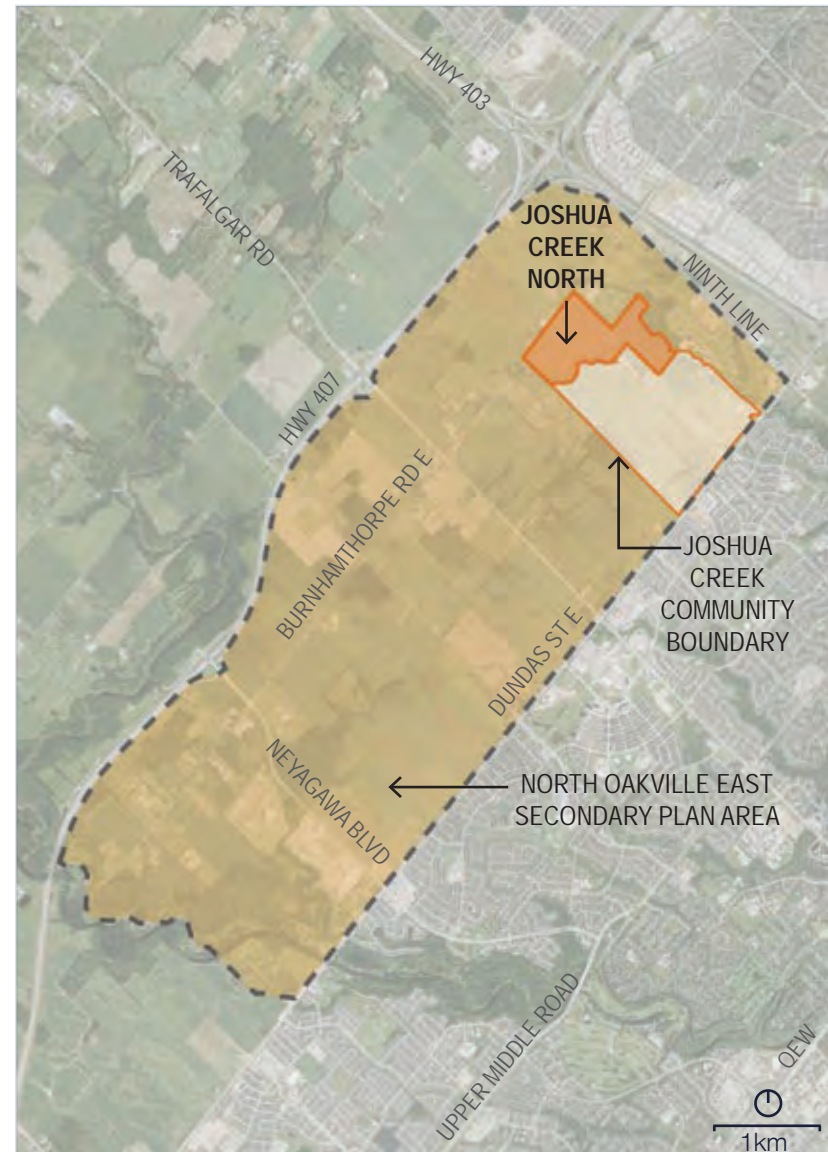


Fig. 1.0 - Joshua Creek North within the North Oakville East Secondary Plan Area



Fig. 2.0 - Context Map of Joshua Creek North within the overall Joshua Creek Community

2.0

CONTEXTUAL ANALYSIS

Joshua Creek North forms part of the overall Joshua Creek community and is bounded by NHS and future employment area to the north, and Joshua Creek Phase 3 to the south. The lands east of the community are comprised of future residential, a driving range, and an existing cemetery, while the lands to the west are predominantly NHS and future residential development by others (refer to Figure 2.2a).

The lot fabric, general street and block pattern as well as street lengths proposed in the Joshua Creek North will directly correspond with the planning and design of the overall Joshua Creek community.

2.1 Existing Natural Features, Topography & Vegetation

The natural landscape of Joshua Creek North is characterized by its gently rolling topography, which supports a mixture of farmland, hedgerows, and wooded areas. These features contribute to the area's ecological diversity and scenic value, reflecting its historical agricultural use and natural evolution.

A substantial portion of the subject lands is designated as Natural Heritage System (NHS), encompassing critical environmental features. Central to the NHS lands are tributaries of the Joshua Creek watershed, which meander through the property, playing a vital role in local hydrology and biodiversity. These watercourses are predominantly located in the central portion of the lands and extend along the southern boundary, creating natural corridors for wildlife movement and supporting aquatic ecosystems.

The vegetative cover includes hedgerows that delineate former agricultural fields, acting as windbreaks and habitat for various bird and insect species. Wooded areas, consisting of both deciduous and coniferous trees, enhance the ecological integrity of the site, providing shade, soil stabilization, and carbon sequestration benefits.

This existing natural framework offers significant opportunities for integration into the development design, ensuring preservation and enhancement of the watershed while balancing the needs of the community and the environment. Future planning must align with these natural assets, respecting their importance for stormwater management, habitat connectivity, and recreational potential.

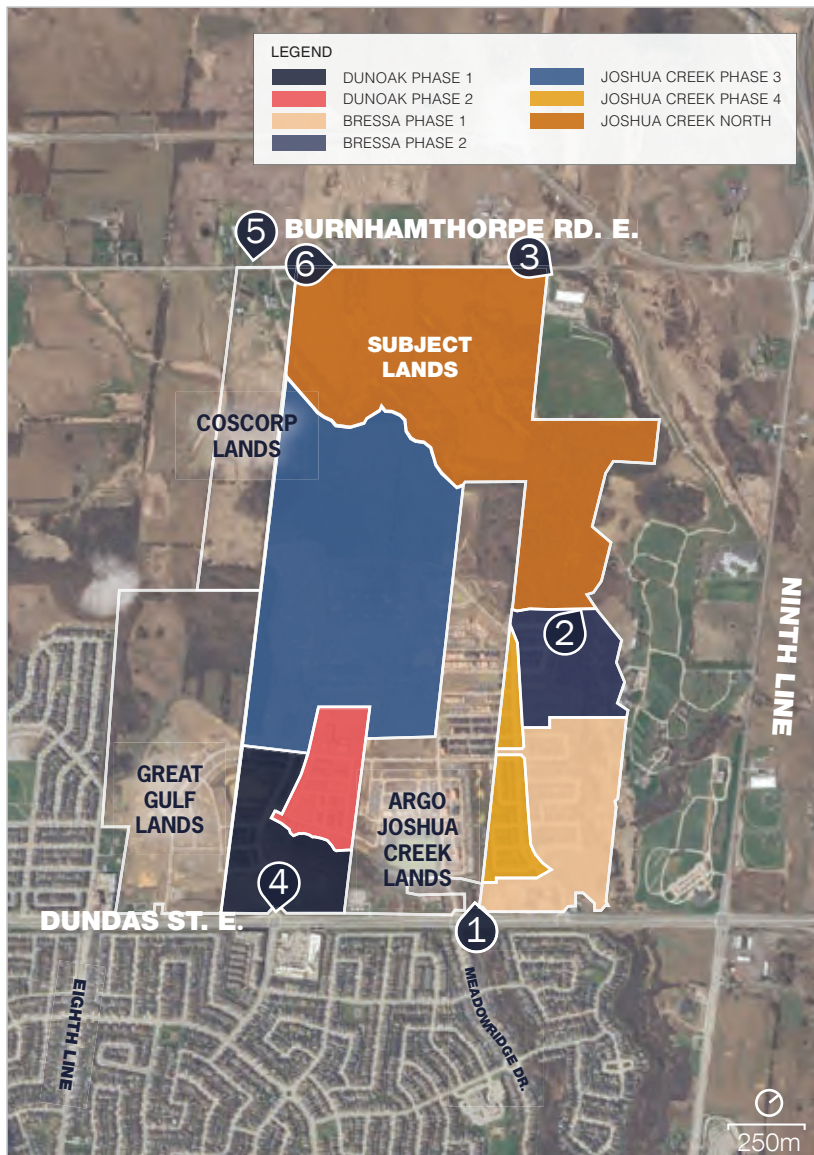


Fig. 2.2a - Context Map of Joshua Creek North within the overall Joshua Creek Community

2.2 Surrounding Land Uses & Built Form Character

The lands to the south of Joshua Creek North consist of future residential development including Joshua Creek Phase 3, which will comprise low and medium density residential built form, a public elementary school, neighbourhood parks and village squares. The lands further south include Dunoak Phase 1 and 2, and will comprise of low and medium density residential built form, a public elementary school, SWM pond, NHS corridor, and the Dundas Urban Core area. Southeast of the subject lands include Joshua Creek Phase 4 and Bressa Phase 1 and 2, which are intended to comprise low to medium density residential development, a robust NHS and open space system, and the continuation of the Dundas Urban Core along Dundas Street East.

To the west of Joshua Creek North, the lands are planned as future residential development. Bordering the northwest corner of the Joshua Creek Community, at 1086 Burnhamthorpe Road East, sits the Joshua Creek Heritage Art Centre, which is designated under the Ontario Heritage Act as a property of cultural heritage value and interest.

Northeast of Joshua Creek North, an existing cemetery and driving range comprise a substantial portion of the lands, while the Ninth Line Sports Park is situated further east. North of the subject lands and Burnhamthorpe Road E., the lands are designated as a future transitional and employment area development.



Fig. 2.2b - View facing north from Dundas Street E and Meadowridge Drive, which extends into the Joshua Creek Community



Fig. 2.2c - Single detached homes on William Cutmore Blvd within the Bressa Phase 1 Community, south of Joshua Creek North



Fig. 2.2d - Joshua Creek Driving Range and Tennis along Burnhamthorpe Road E., east of Joshua Creek North



Fig. 2.2e - Mid-rise development in the surrounding area, located at Dundas Street E and Prince Michael Drive, which extends into the Joshua Creek Community



Fig. 2.2f - The Joshua Creek Heritage Art Centre, located west of Joshua Creek North on Burnhamthorpe Road E



Fig. 2.2g - Burnhamthorpe Road East at the northwest corner of Joshua Creek North community, looking east.

2.3 Views & Vistas

Given the extensive NHS lands within and surrounding the site, there are opportunities to preserve views and vistas to these natural features. The NHS will directly inform the proposed layout and development of the site and views will be maintained from streets and public open space where feasible. Locating the village squares and stormwater management ponds adjacent to the NHS allows for visual and physical connections to the natural open space.

2.4 Gateways & Landmarks

The mixed use block at the intersection of Burnhamthorpe Road East and the proposed collector road, Street 'A' may provide an opportunity for a minor community gateway feature as a northern entrance into the Joshua Creek community. The gateway may include enhanced landscape treatment and built form oriented toward the corner to address the entrance into the community and enhance the visual quality of the public street.

2.5 Transportation Networks

Although there are currently no public transit services running to the subject lands, Burnhamthorpe Road East is identified as Secondary Transit Corridor in the North Oakville Secondary Plan Transit Plan (2009), and the development of this site will provide opportunities for vehicular, pedestrian and cycling networks that link with the greater community.

Currently, east-west bus routes run south of the subject lands, on Dundas Street East, with an Oakville Transit bus stop at the northwest and southeast corners of the Meadowridge Drive intersection. The development of the Joshua Creek North lands will provide a logical extension of Meadowridge Drive where it will continue as the proposed north-south collector.

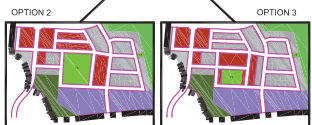
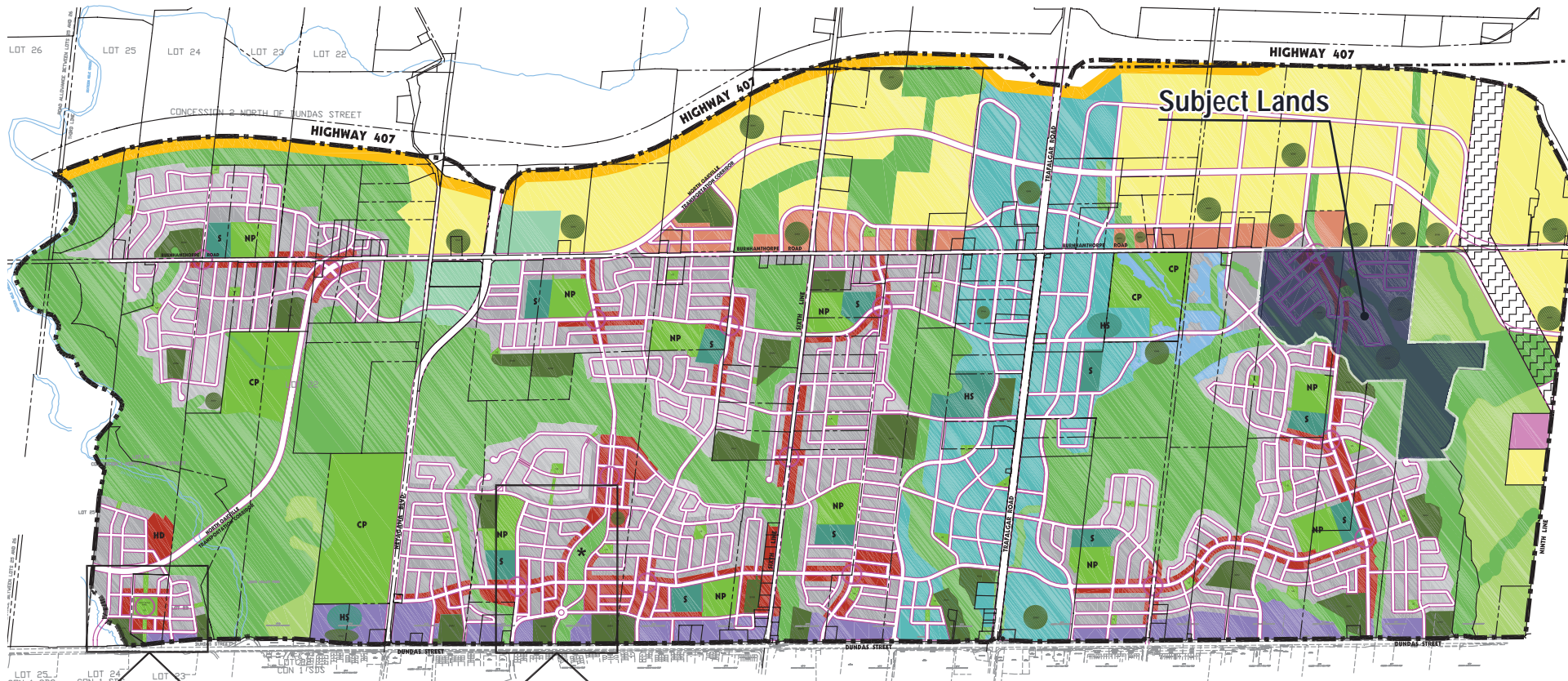
3.0 POLICY CONTEXT

The Joshua Creek community is located in North Oakville and forms a component of the broader North Oakville Secondary Plan Area. Consistent with the Secondary Plan, the development concept for Joshua Creek North includes a range of residential and open space uses, with medium residential development concentrated along the Neighbourhood Centre Areas.

The proposed development for the overall Joshua Creek Community is subject to several planning studies and processes. This Urban Design Brief outlines a set of guidelines consistent with the objectives of documents that follow.

The Joshua Creek community is situated within North Oakville and forms an integral part of the broader North Oakville Secondary Plan Area. Aligned with the vision and objectives of the Secondary Plan, the development concept for Joshua Creek North incorporates a diverse mix of residential and open space uses. Medium-density residential development is strategically concentrated around the Neighbourhood Centre Areas, fostering a vibrant, walkable, and connected community core.

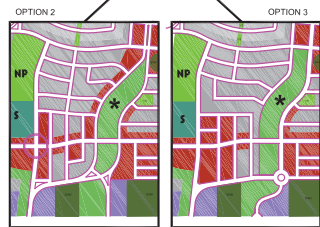
The proposed development of the Joshua Creek community is guided by a range of planning studies, policies, and approval processes. This Urban Design Brief provides a framework of design guidelines that are consistent with and supportive of the objectives outlined in these governing documents. The guidelines aim to ensure that the development of the next phase of the community continues to align with the broader policy direction while promoting high-quality urban design, functional land use integration, and sustainability.



Town of Oakville

Appendix 7.3
North Oakville Master Plan
February 2008

NOTE: The Master Plan assumes the protection of designated heritage resources in accordance with the provisions of Section 7.4.12 of the Secondary Plan



LEGEND

- | | | | | | |
|--|--------------------------------------|--|---|--|---|
| | SECONDARY PLAN AREA BOUNDARY | | INSTITUTIONAL AREA | | UTILITY CORRIDOR |
| | OAKVILLE / MILTON MUNICIPAL BOUNDARY | | STORMWATER MANAGEMENT FACILITY (final location tbd) | | NEIGHBOURHOOD ACTIVITY NODE |
| | TRANSITWAY | | COMMUNITY PARK AREA | | CEMETERY AREA |
| | DUNDAS STREET URBAN CORE AREA | | NEIGHBOURHOOD PARK AREA | | NEIGHBOURHOOD CENTRE AREA |
| | NEYAGAWA BLVD. URBAN CORE AREA | | VILLAGE SQUARE/URBAN SQUARE | | GENERAL URBAN AREA |
| | TRAFALGAR ROAD URBAN CORE AREA | | ELEMENTARY SCHOOL SITE | | SUB URBAN AREA |
| | TRANSITIONAL AREA | | SECONDARY SCHOOL SITE | | HIGH DENSITY RESIDENTIAL AREA |
| | EMPLOYMENT AREA | | JOSHUA CREEK FLOODPLAIN AREA | | POLICY REFERENCE - SEE POLICY SECTION 7.4.7.2 |
| | NATURAL HERITAGE SYSTEM AREA | | | | |



Figure 3.1 - The location of Joshua Creek North within North Oakville East Secondary Plan

3.1 North Oakville East Secondary Plan

The design and structure of the Joshua Creek Community complies with the North Oakville Master Plan (Appendix 7.3 - February 2008), which graphically illustrates the structuring elements, land uses and overall design of the North Oakville Planning Area and sets out the manner in which the policies and figures of the Secondary Plan are to be implemented.

Joshua Creek North complies with the Community Structure Plan, with respect to the following key elements:

7.3.3. RESIDENTIAL NEIGHBOURHOODS

- Low density residential neighbourhoods on the east and west sides of the NHS are anchored by Neighbourhood Centre Areas within walking distance of most residents. These areas will include a mixed use block and medium density residential land uses.

7.3.5 NATURAL HERITAGE AND OPEN SPACE SYSTEM

- The NHS system within Joshua Creek North is preserved and enhanced with a proposed trail system and connections to the proposed sidewalk network along neighbourhood streets.

7.5.4 GENERAL DESIGN DIRECTIONS

- The development is based on a modified grid road network that responds to the Natural Heritage System and the subject land's topography. The proposed road network does not include cul-de-sacs.

7.5.12 NEIGHBOURHOODS

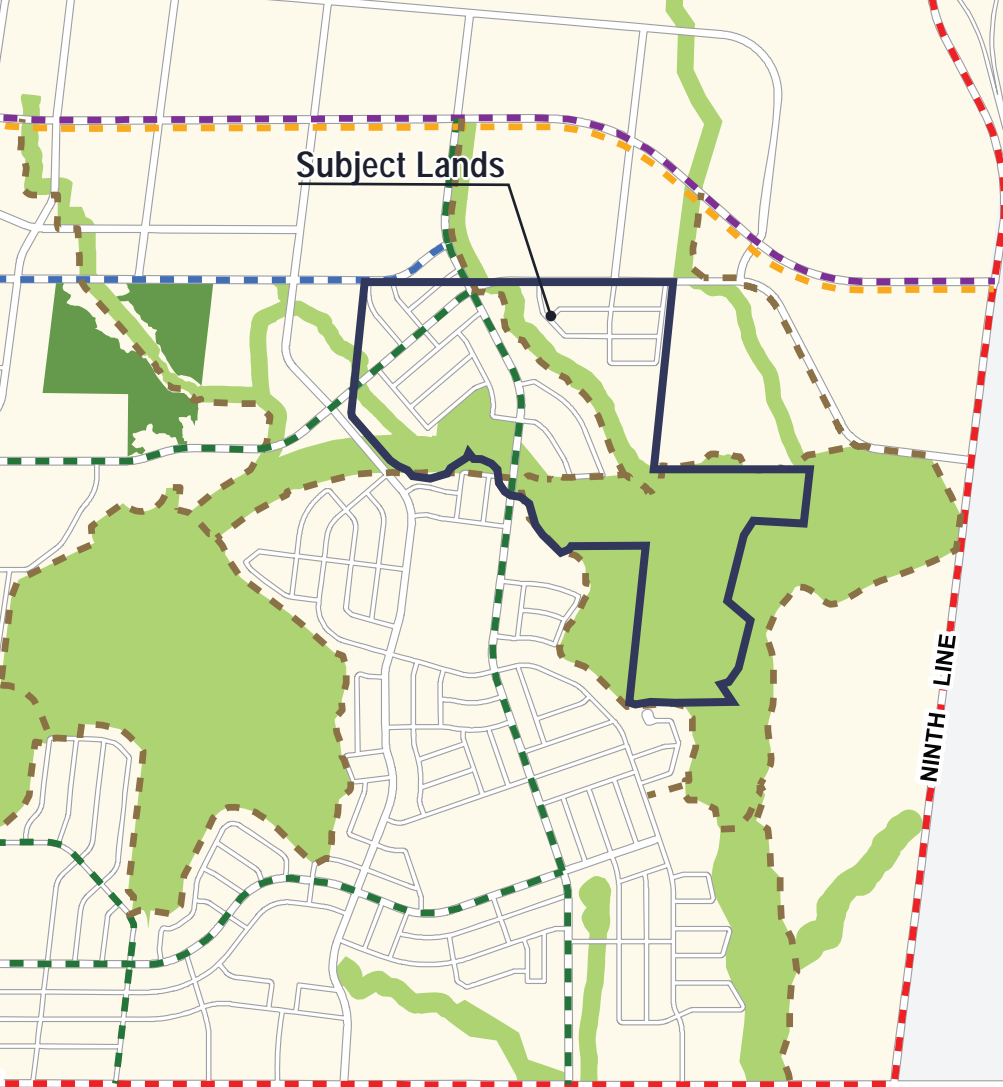
- A Neighbourhood Activity Node is located at the intersection of Burnhamthorpe Road East and Street 'A' with the mixed use block providing opportunities for local retail and services. It may also include public facilities which serve the neighbourhood such as central mail boxes or mail pickup facilities.

7.6.13 VILLAGE SQUARE AREA

- Two (2) village squares will serve as focal points of the surrounding neighbourhoods and provide a range of active and passive recreation uses.

3.2 North Oakville Urban Design & Open Space Guidelines

Joshua Creek North will reflect the North Oakville East Urban Design and Open Space Guidelines that outline the physical design components necessary for the development of a high quality, sustainable and integrated community. The planning and design of this new community is based on the Town's detailed set of objectives, illustrated recommendations and guidelines that will impact urban living, employment and recreation, implementing the broad policies of the North Oakville East Secondary Plan.



NORTH OAKVILLE TRAILS PLAN - EAST

- Bicycle Lane
- Major Trail
- Minor Trail
- Multi-use Trail
- Regional Facility
- Bicycle Facility (To be Determined)
- Signed Bike Route
- Natural Heritage System

Figure 3.3 - The location of Joshua Creek North within North Oakville Trails Plan - East

3.3 North Oakville Trails Plan

The North Oakville Trails Plan is a key component of transportation strategy for the Town’s Vision 2057 and Secondary Plan area, recognizing that trails are an essential part of linking new communities, reducing reliance on roads, encouraging walking and cycling, and controlling access into the NHS system. The hierarchy of trails includes multi-use trails, major trails and minor trails, as well as a network of on-road cycle lanes and bike routes.

The trails plan for Joshua Creek North adheres to the general trail network including:

- Signed bike routes along the proposed north-south collector road, Street ‘A’, and minor collector road Street ‘C’.
- A proposed major trail along the perimeter of the NHS lands within Joshua Creek North.

3.4 Livable By Design Manual

The Livable by Design Manual (LBDM) applies to all development proposals that are subject to approval by the Town. The purpose of the LBDM is to visually articulate the strategic direction and design objectives of the Livable Oakville Plan and North Oakville East and West Secondary Plans (collectively referenced as the Town's Official Plan). Part A and C of the manual apply to the Joshua Creek North development, with Part A providing detailed design direction for the public realm, built form, and site development, and Part C establishing the Site Design and Development Standards for Oakville.

3.5 North Oakville Sustainability Checklist

The North Oakville Sustainability Checklist is an important tool for assessing the sustainability of planned developments. Based on North Oakville Secondary Plan policies, the checklist is meant to be a tool to encourage sustainable development practices. The planning and design of Joshua Creek North incorporates the items outlined in this checklist within the following broader categories:

- Development Form
- Air Quality / Energy Efficiency
- Water Management
- Natural Heritage

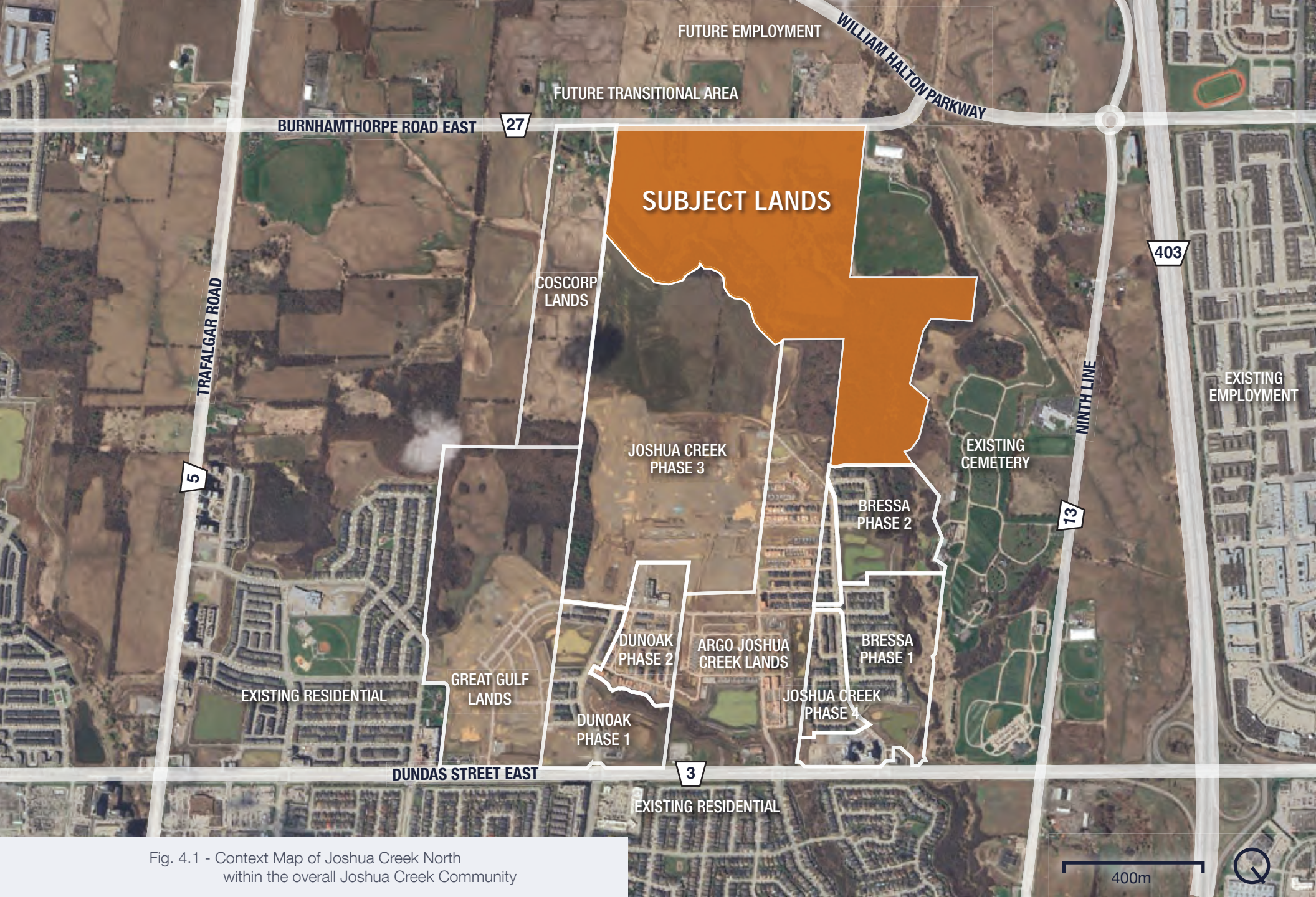


Fig. 4.1 - Context Map of Joshua Creek North within the overall Joshua Creek Community

4.0

DEVELOPMENT FRAMEWORK

The development framework for the overall Joshua Creek Community will serve as the main building components for delineating the various land uses, establishing the street hierarchy network and providing the framework of neighbourhood areas. The following sections describe these key structuring elements.

4.1 Boundary Interface

Planned as an integral part of the surrounding future community, Joshua Creek North will complement adjacent land uses including the future adjacent residential development planned beyond the south, east, and west interfaces of the subject lands.

The subjects lands are bounded by Burnhamthorpe Road East to the north, future residential to the south and west, and NHS along the south and east. To appropriately respond to the interfaces, low rise residential built form will transition in typology and density, with single detached dwellings backing onto the NHS and more compact residential forms, such as street towns and rear lane towns, proposed along the central collector and Burnhamthorpe Road East.

LEGEND

-  Joshua Creek North Boundary
-  General Urban Area
-  Sub Urban Area
-  Neighbourhood Centre Area
-  Street Townhouses
-  Rear Lane Townhouses
-  Single Detached Residential
-  Mixed Use Block
-  Stormwater Management Pond
-  Natural Heritage System
-  Village Square

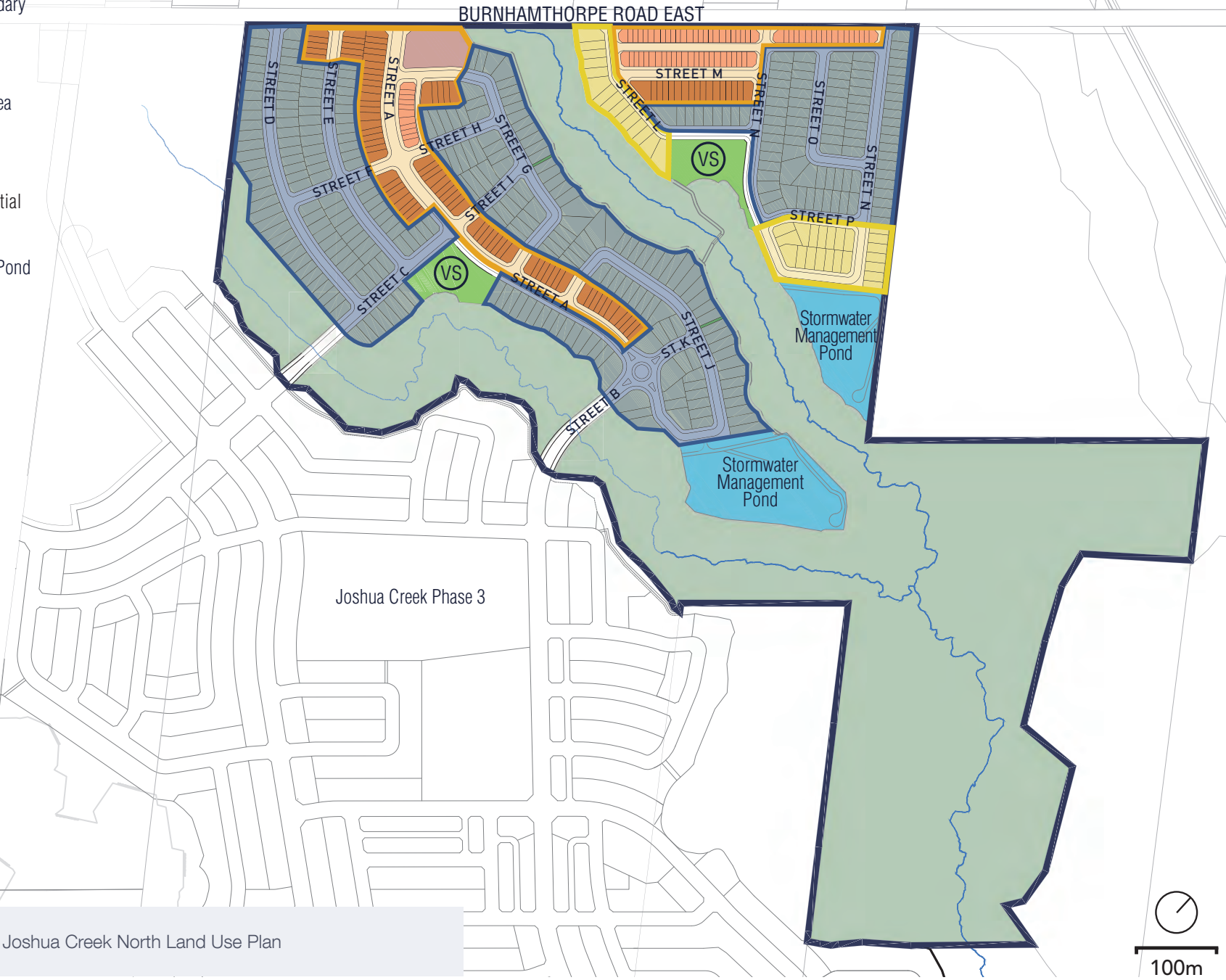
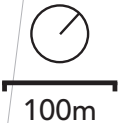


Figure 4.2 - Joshua Creek North Land Use Plan



4.2 Pattern of Land Uses

The Joshua Creek Community will be characterized by a mix of land uses that will define the character and function of the neighbourhoods. The pattern of land uses within the Joshua Creek North lands include:

- **General Urban Area** - Single detached residential and townhouse lots;
- **Sub Urban Area** - Single detached residential;
- **Neighbourhood Centre Area** - Mixed use built form and townhouse lots;
- **Natural Heritage System** - Encompassing a significant area of Joshua Creek North, and the entire southern portion of the Subject Lands;
- **Village Squares** - Two (2) village squares complementing the broader community's parks and open space network and functioning as neighbourhood focal points;
- **Stormwater Management Ponds** - two (2) SWM blocks located adjacent to the NHS, providing a compatible interface, an opportunity for viewsheds from local roads, and integrated trail connections.

Single detached residential shall comprise the majority of the land area within Joshua Creek North. These are typically front-loaded dwellings on lots with varying depths, with front elevations and driveways accessed from the local street network.

LEGEND

- Joshua Creek North Boundary
- Minor Collector (Burnhamthorpe Road E)
- 22.0m Collector Road
- 19.0m Minor Collector Road
- 17.0m Local Street
- 11.0m Laneway
- 7.5m Laneway
- Natural Heritage System
- Ⓟ Village Square



Figure 4.3 - Joshua Creek North Street Network

4.3 Street Network

The Joshua Creek North lands are defined by Burnhamthorpe Road East along the north extent of the community. The proposed configuration of local streets forms a modified grid pattern, fostering connectivity for residents throughout the neighbourhood. Minor collector roads, Street 'B' and Street 'C', will serve as key community connectors to the Joshua Creek Phase 3 community and beyond.

The proposed road hierarchy will consist of the following street types:

- Arterial Road - Vehicular connection through Oakville and the wider Region;
- Collector Road - 22.0m R.O.W. / connector and potential transit link / connects neighbourhoods and Neighbourhood Centre Areas / 2 travel lanes, 2 parking lanes, 4.5m boulevard;
- Minor Collector Road - 19.0 R.O.W. / connects neighbourhoods to Neighbourhood Centre Area;
- Local Street - 17.0m R.O.W. / transportation corridor and neighbourhood social focus; and
- Laneway - 11m R.O.W. / 2 travel lanes, access to rear or flankage garage parking.
- Laneway - 7.5m R.O.W. / 2 travel lanes, access to rear or flankage garage parking.

LEGEND

- Joshua Creek North Boundary
- Stormwater Management Pond
- Natural Heritage System
- VS Village Square



Figure 4.4 - Location of the Natural Heritage System within Joshua Creek North

4.4 Natural Heritage System

The proposed Natural Heritage System (NHS) within the site as well as the Joshua Creek Valley is designed to ensure an ecologically diverse, healthy and sustainable NHS in an urbanized setting. The primary objective is to preserve the existing natural environment to achieve multiple objectives and targets related to fish and wildlife habitat, connected natural areas and features, community diversity, water management, etc., that will be balanced and implementable.

The proposed land use fabric, including streets, residential, and open space features and buffer elements, evolve from the prominent NHS lands and will provide important vista opportunities within walking distance of all neighbourhoods.

LEGEND

- Joshua Creek North Boundary
- Street Townhouses
- Rear Lane Townhouses
- Single Detached Residential
- Mixed Use Block
- Stormwater Management Pond
- Natural Heritage System
- VS Village Square



Figure 5.0 - Development Master Plan

5.0

DEVELOPMENT MASTER PLAN

Proposed residential uses for Joshua Creek North comprise a variety of single-detached and townhouse dwellings. Primary access to the proposed development within Joshua Creek North is from Burnhamthorpe Road East, with secondary access from minor collector roads Street “B” and Street “C” that link to neighbouring communities.

In general, the proposed plan of subdivision focuses density along Burnhamthorpe Road East and collector road Street “A” with lower density residential interfacing the NHS. In addition to the mixed use block, the medium density residential along Street ‘A’ and Burnhamthorpe Road East forms two Neighbourhood Centre Areas. Refer to Fig. 6.2a.

A variety of parkland and open spaces are proposed throughout Joshua Creek development area, generally within walking distance of the surrounding residents. Two village squares are provided in the Joshua Creek North, distributed on either side on the central NHS block.

The proposed development recognizes and preserves existing NHS features, while integrating views, vistas and multi-use links through the trail network.

The key elements that characterize Joshua Creek North and form the overall development master plan include: medium density residential, low density residential, mixed-use development, and amenities including the village squares and NHS.



Figure 6.0 - Rendering example of 2-storey traditional street townhouses

6.0

DETAILED DESIGN DIRECTION

Joshua Creek North features several land uses and features that will define the community, including the village squares, and the Neighbourhood Centre Areas that will contain a mixed-use block and medium density residential land uses.



Figure 6.1 - A village square that provides a strong visual element within the community

6.1 Public Spaces & Connections

A variety of public parkland features and connections are proposed within the Joshua Creek North community, generally within walking distance of all surrounding neighbourhood areas.

The Joshua Creek North community comprises two neighbourhood scaled village squares. They are situated in convenient and walkable locations where they can be readily accessed by residents and also contribute a strong visual element to the surrounding neighbourhoods.

The NHS, located along the southwestern border, in the centre, and along the southern portion of the community, offers opportunities for trail connectivity to natural areas and strategic views toward open space features.

LEGEND

- Joshua Creek North Boundary
- Stormwater Management Pond
- Natural Heritage System
- ⊙ VS Village Square

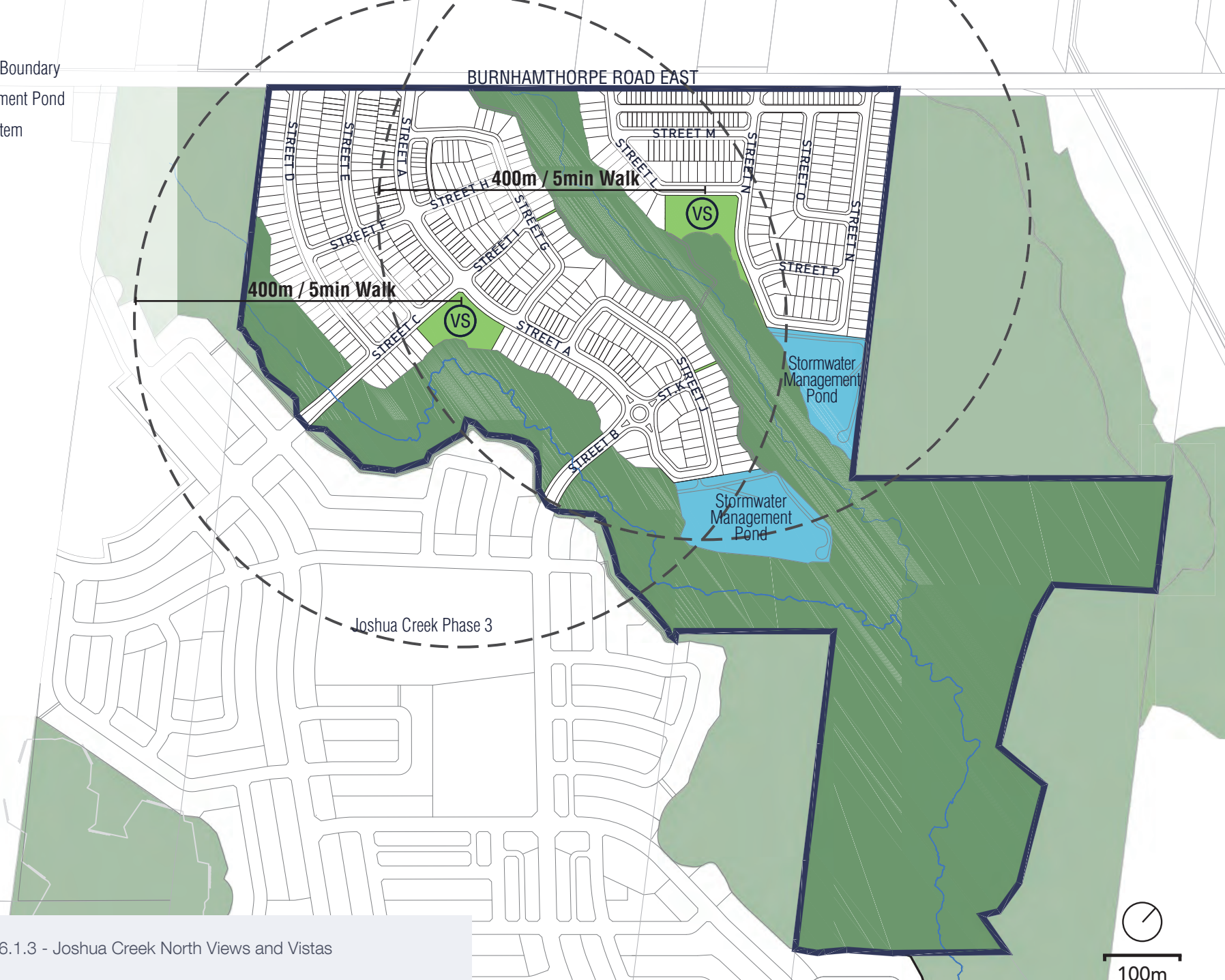


Figure 6.1.3 - Joshua Creek North Views and Vistas

6.1.1 Village Squares

Two village squares are proposed in the Joshua Creek North Community. Located centrally within both the eastern and western portions of development for convenient access by all residents, these small open space areas serve a primarily focal and social role for the surrounding neighbourhoods, with some potential for active play. The village squares provide an opportunity for a neighbourhood to distinguish itself through the use of a distinct palette of design elements and plantings, setting the tone and character of the place. As such, the two areas will contribute a strong visual identity for each neighbourhood. As conceptually depicted in Figures 6.1.1b and c, the proposed village squares may incorporate the following neighbourhood focused amenities and features:

- Playground facilities
- Seating and congregating areas
- Shade structures
- Flexible use open grass
- Bike Racks
- Shrub and tree planting

Each village square has two sides fronting public streets providing casual surveillance through an “eyes on the park” environment. The following guidelines shall apply to both village squares:

- The village squares shall provide passive and active recreation opportunities at the local or neighbourhood level, with the potential for a junior/senior play area, shade structure with seating, and an unprogrammed open play area.
- The village squares shall be planned and designed as the central focus for each neighbourhood.
- Key features should be sited to terminate view axes.
- Lighting should be provided for facilities and features, as required.
- The design of hard and soft landscape elements and features, including points of entry, should be consistent or complementary with neighbourhood themes (surrounding built form).
- Planting (trees, shrubs, grasses, perennials) shall comprise species tolerant of urban conditions with an emphasis on native species.
- Planting scheme should consider the transition to any existing or proposed adjacent natural features.
- Desirable views toward adjacent natural features should be maintained or emphasized through park layout.
- Tree planting shall reflect an informal layout with cluster groupings of trees contained within lawn areas to facilitate shaded passive use.
- Hard and soft landscape elements and features will be designed to identify areas of activity, circulation, entry points, seating and gathering areas.

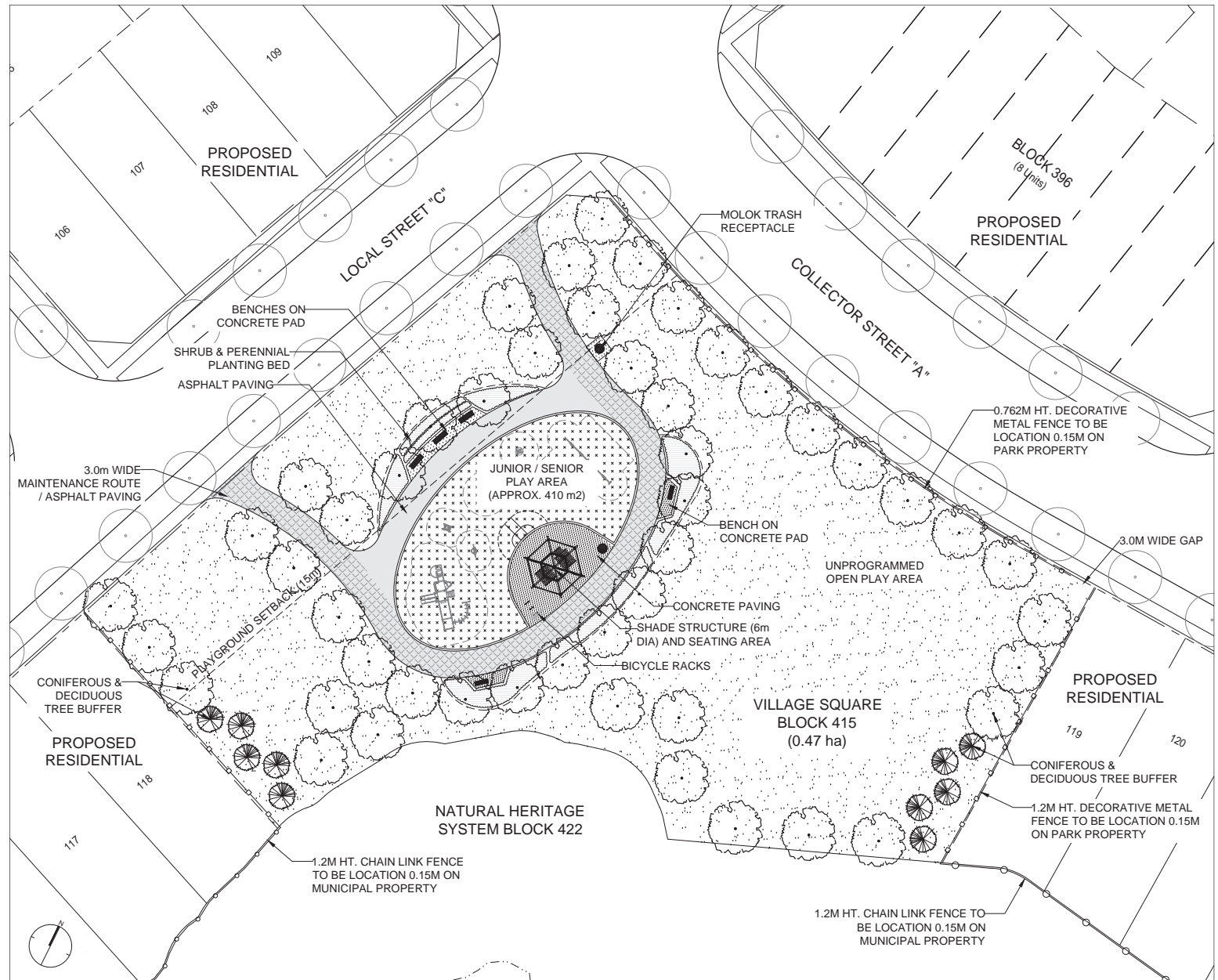


Figure 6.1.1a - Facility Fit Plan of proposed village square within the western portion of development in Joshua Creek North.

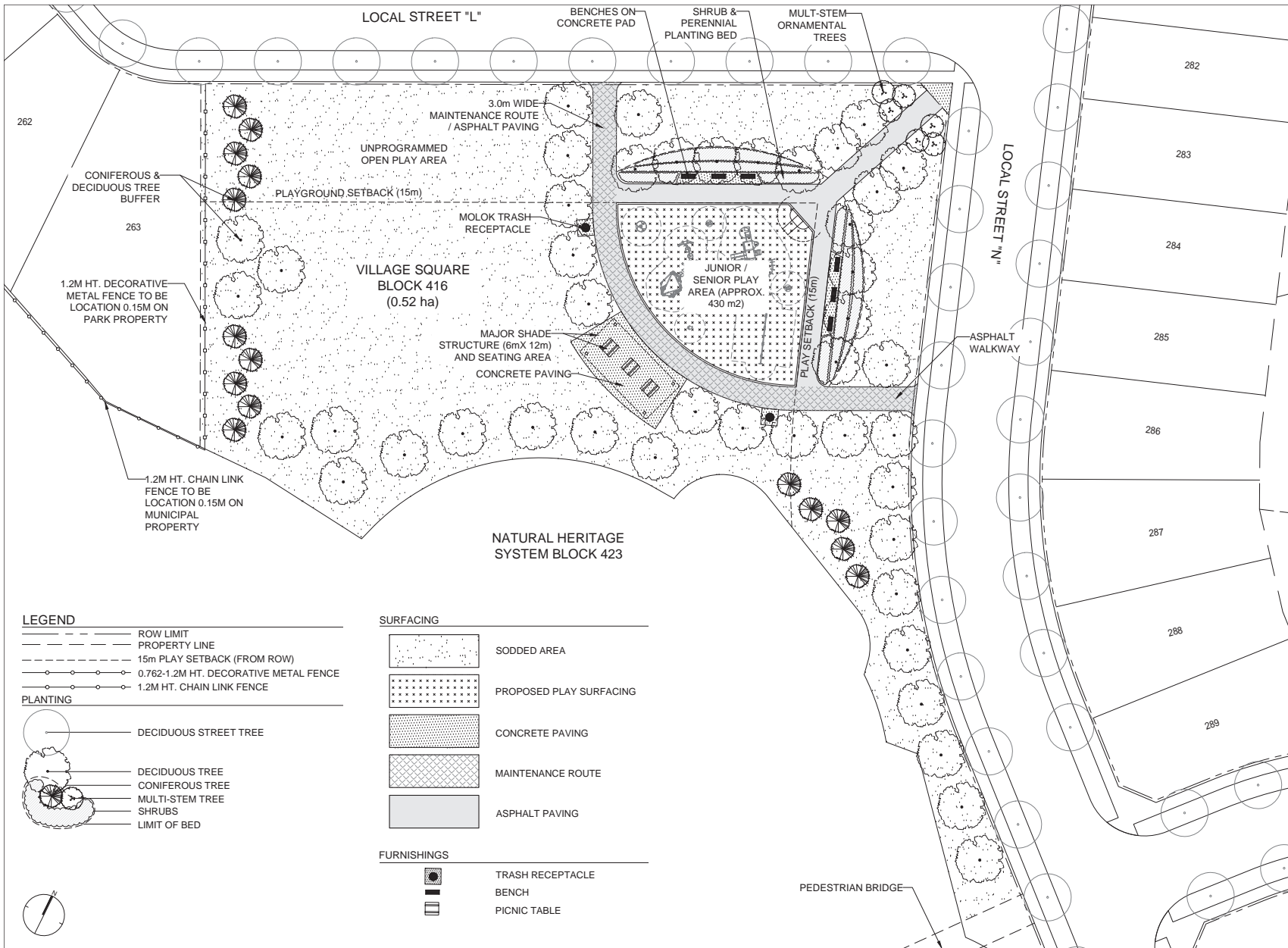


Figure 6.1.1b - Facility Fit Plan of proposed village square located within the eastern portion of development in Joshua Creek North.

LEGEND

- Joshua Creek North Boundary
- Bike Lane (On Road)
- - - Signed Bike Route
- Proposed Pedestrian Sidewalk
- ⋯ Proposed Major Trail
- Stormwater Management Pond
- Natural Heritage System
- VS Village Square



Figure 6.1.2 - Trail network plan depicting proposed trail locations within Joshua Creek North. Plan based on March 2019 North Oakville East Trails Plan

6.1.2 Trail Network

The North Oakville Secondary Plan calls for the development of an extensive recreation trail system. Consistent with the March 2019 North Oakville East Trails Plan, the trails system proposed for the overall Joshua Creek community will provide access to the NHS from the adjacent streets. In doing so, the trail will connect to planned or existing pathways throughout the broader community as a comprehensive pedestrian linkage network. A proposed pedestrian bridge and trail connect both portions of the community across the central NHS, linking the eastern village square to the western neighbourhood. The trail design shall comply with the North Oakville East Urban Design and Open Space Guidelines and satisfy the objectives of the North Oakville East Trails Plan. The following guidelines shall apply:

- The material composition of the trail should be appropriate to the surrounding natural features and anticipate type and frequency of use.
- Trails may vary in size to allow two-way cycling, based on Town of Oakville standards.
- Trail lighting requirements shall be determined on a site-by-site basis and take into consideration night-time use, disturbance of natural areas, impacts on adjacent land uses, maintenance requirements, etc.
- Where feasible, trails should be accessible and visible from adjacent streets.
- Pedestrian trails shall be integrated into the NHS corridor buffer design, connecting with the SWM pond trail and adjacent street sidewalks to encompass the pedestrian and cycling network for the community.
- All trails shall be appropriately set back from adjacent residential rear lot lines.
- Trail design elements may include trailhead markers, seating areas and information signage.

LEGEND

- Joshua Creek North Boundary
- Potential View Corridor
- Viewshed
- Stormwater Management Pond
- Natural Heritage System
- VS Village Square



Figure 6.1.3 - Joshua Creek North Views and Vistas

6.1.3 Views & Vistas

Opportunities to provide strategic views and viewsheds towards the existing NHS and introduced open space features within Joshua Creek North shall be integrated into the proposed street and block framework. These views and viewshed opportunities are primarily provided through the location of street frontage immediately adjacent to these open space features and facilities.

LEGEND

-  Joshua Creek North Boundary
-  Neighbourhood Activity Node
-  Neighbourhood Centre Area
-  Street Townhouses
-  Rear Lane Townhouses
-  Single Detached Residential
-  Mixed Use Block
-  Stormwater Management Pond
-  Natural Heritage System
-  Village Square

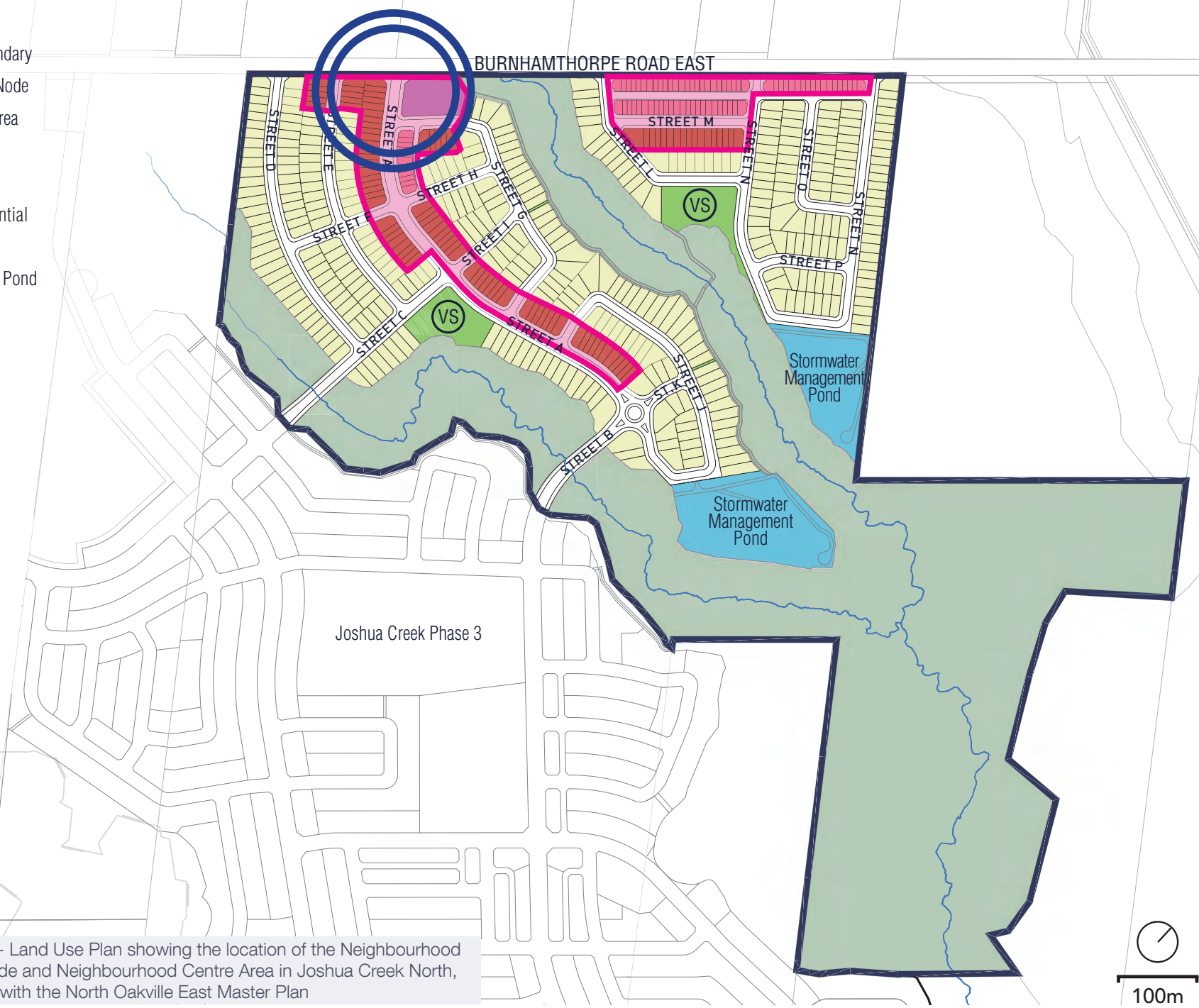


Figure 6.2 - Land Use Plan showing the location of the Neighbourhood Activity Node and Neighbourhood Centre Area in Joshua Creek North, consistent with the North Oakville East Master Plan

6.2 Neighbourhood Centre Area

The Neighbourhood Centre Area within the Joshua Creek North community is strategically positioned along Burnhamthorpe Road East and Street 'A', serving as a hub of increased density within both the eastern and western portions of development. Street 'A' will feature a vibrant 'main street' development block, designed as the community's central hub of activity. The neighbourhood centre areas along Burnhamthorpe Road East will support a pedestrian-friendly street that connects the neighbourhood to surrounding areas. The Neighbourhood Activity Node located at the intersection of both streets serves as an anchor of the community and will seamlessly integrate varying residential and retail functions.

As a key component of the community's urban structure, the Neighbourhood Centre Area defines the character of the surrounding neighbourhoods through its walkable layout, transit-supportive built form, and thoughtfully designed open spaces. The Neighbourhood Centre Area's design encourages connectivity and fosters a sense of place, supporting both community interaction and sustainable living.

The proposed development includes a diverse range of residential products and densities, such as street townhouses, rear-lane townhouses, and a mixed-use block featuring strategically located commercial spaces within the Neighbourhood Activity Node. These elements work together to create a dynamic, mixed-use environment that serves the daily needs of residents while enhancing the overall vibrancy of the community.

Given its prominent role within the urban fabric of Joshua Creek North, the Neighbourhood Centre Areas will feature distinct and thoughtfully designed architecture that reflects a cohesive style and incorporates high-quality materials. This focus on excellence in built form ensures that the area not only meets functional requirements but also contributes to the visual and cultural identity of the community.

6.2.1 Mixed Use Built Form

Prominently located at the Burnhamthorpe Road East and the Street 'A' corner, the mixed use built form within this block will be determined in a future design stage, in conformance with Town policy for the Neighbourhood Centre designation. Built form typologies for this location may include live-work townhouses or a mixed use building up to six (6) storeys.

The following guidelines provides preliminary design direction for mixed use and live-work built form.

Mixed Use Building

Condominium units with ground floor commercial can serve as an important amenity within the neighbourhood, allowing local residents to shop within walking distance from home or in proximity to transit. This higher density residential form is conducive to establishing an active urban character through an emphasis on building height and massing where intensity of use and a landmark form is desirable. The following guidelines shall be considered in the design of a mixed use building:

- Ground level floor heights shall be taller than upper floor heights to create a strong street presence and provide opportunities for flexible space;
- Building set-backs shall be minimized to relate well to the adjacent street and park, while allowing sufficient space for a comfortable pedestrian zone and landscaping opportunities;
- Building facades shall provide visual interest through the use of materials, colours, ample fenestration, wall articulation, and style-appropriate architectural detailing. All facades should appropriately address both street frontages;
- Main entrances shall be designed as a focal point of the building. Typically, these will be recessed or covered and provide visibility to interior lobbies to allow for safe and convenient arrival and departure from the building. Main entrances shall also be ground-related and wheelchair accessible.



Figure 6.2.1a - Image example of a mixed use building with commercial ground floor units that establish an active urban character.

Live-Work Townhouses

Live-work townhouses represent the notion of the traditional 'main street' shopfront, but in a contemporary form that combines an at grade townhouse with a first floor designed for commercial, office or studio use, and second, third and, potentially, fourth floor intended for residential use. Individual units are grouped together into a larger architectural form, similar to a townhouse. They will typically have a single or double car, rear-facing garage accessed from the laneway. The following guidelines shall be considered in the design of live-work townhouses:

- Buildings shall be designed with active front and flanking façades with ample fenestration and consideration for balconies to overlook adjacent main streets. This overview of the street contributes to safe and active public spaces;
- Outdoor amenity areas may take the form of a functional raised terrace, balcony, or rear courtyard;
- Transparency shall be emphasized on the ground floor to allow views into the structure or into display windows;
- Signage should be located between the first and second storey. Signage should occur in a coordinated manner that is appropriate to the architectural style;
- On-street parking may be provided, where feasible, to facilitate convenient access to commercial functions.



Figure 6.2.1b - Image example of mixed use and Live/Work units in a Neighbourhood Centre Area

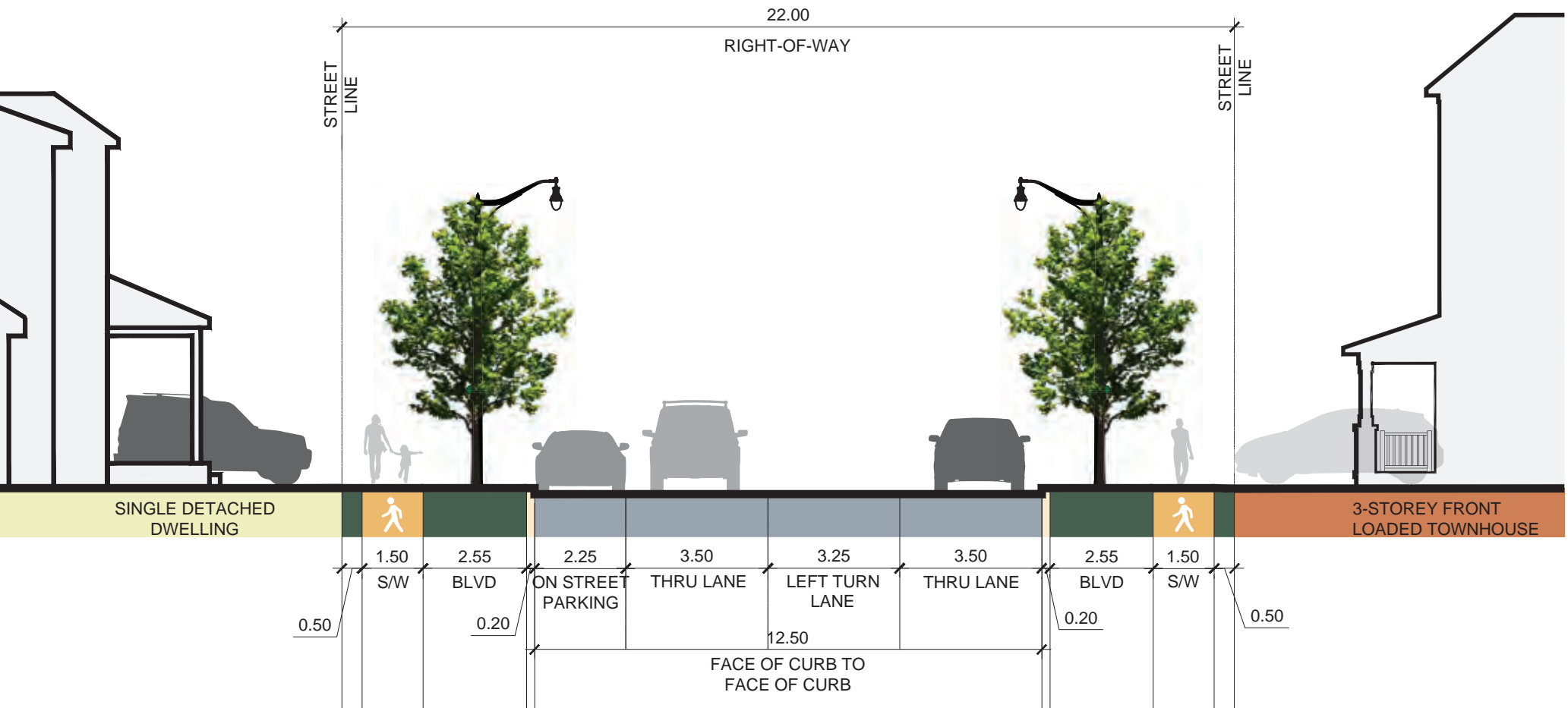


Figure 6.2.2 - 22.0m Collector Street Right-of-Way

6.2.2 Streetscape

The proposed street network within the Joshua Creek North Community strives to balance pedestrian, cycling and vehicular functions within a compact, urban street right-of-way. Streetscapes support the functional role of the street network by balancing technical requirements with aesthetic and urban design objectives. The following guidelines shall apply specifically to the design of streetscape within the Neighbourhood Centre Areas:

- Street tree species will adhere to approved Town of Oakville specifications;
- All planting will be in accordance with approved Town standards;
- Street light poles and luminaires will reflect approved Town standards, complementary to the surrounding communities;
- Streetscape treatments with enhanced paving materials, including decorative paving accents and crosswalks at key intersections, should be considered;
- Street tree species shall adhere to approved Town of Oakville specifications;
- All planting shall be in accordance with the North Oakville Urban Forest Strategic Management Plan;
- Street light poles and luminaires shall reflect approved Town standards, consistent with the surrounding community;
- Where applicable, street furniture (benches, waste receptacles, bike racks, etc.) shall reflect the character of the Neighbourhood Centre Areas and current Town of Oakville standards;

- Built form shall have a strong orientation to the street with minimal setbacks to provide the appropriately scaled street edge along Burnhamthorpe Road East and Street 'A'.
- Loading, service areas and utility functions shall be located to the rear of the building, substantially screened from the adjacent street and sidewalk areas; and
- Rooftop mechanical equipment (if required for live/work units) shall be screened from ground level views by integrating into the roof form or provision of a parapet.

Collector Roads

The 22.0m collector road (Street 'A') running through the Neighbourhood Centre Area serves as a key structuring element providing an important community connection in Joshua Creek North and a potential transit link. Building scale and architectural styles along these street frontages shall be provided in a manner that reinforces an attractive, active, human-scaled street environment.

Typical roadway cross-sections for the 22m right-of-way collector and road include:

- Sidewalks on both sides of the street;
- One lane in each direction;
- On-street parking on both sides of the street;
- Single row of trees in grass boulevards between sidewalk and curb that are appropriately spaced to create an effective canopy and strong streetscape presence.

LEGEND

- Joshua Creek North Boundary
- 77' Single Detached Residential
- 38' Single Detached Residential
- 34' Single Detached Residential

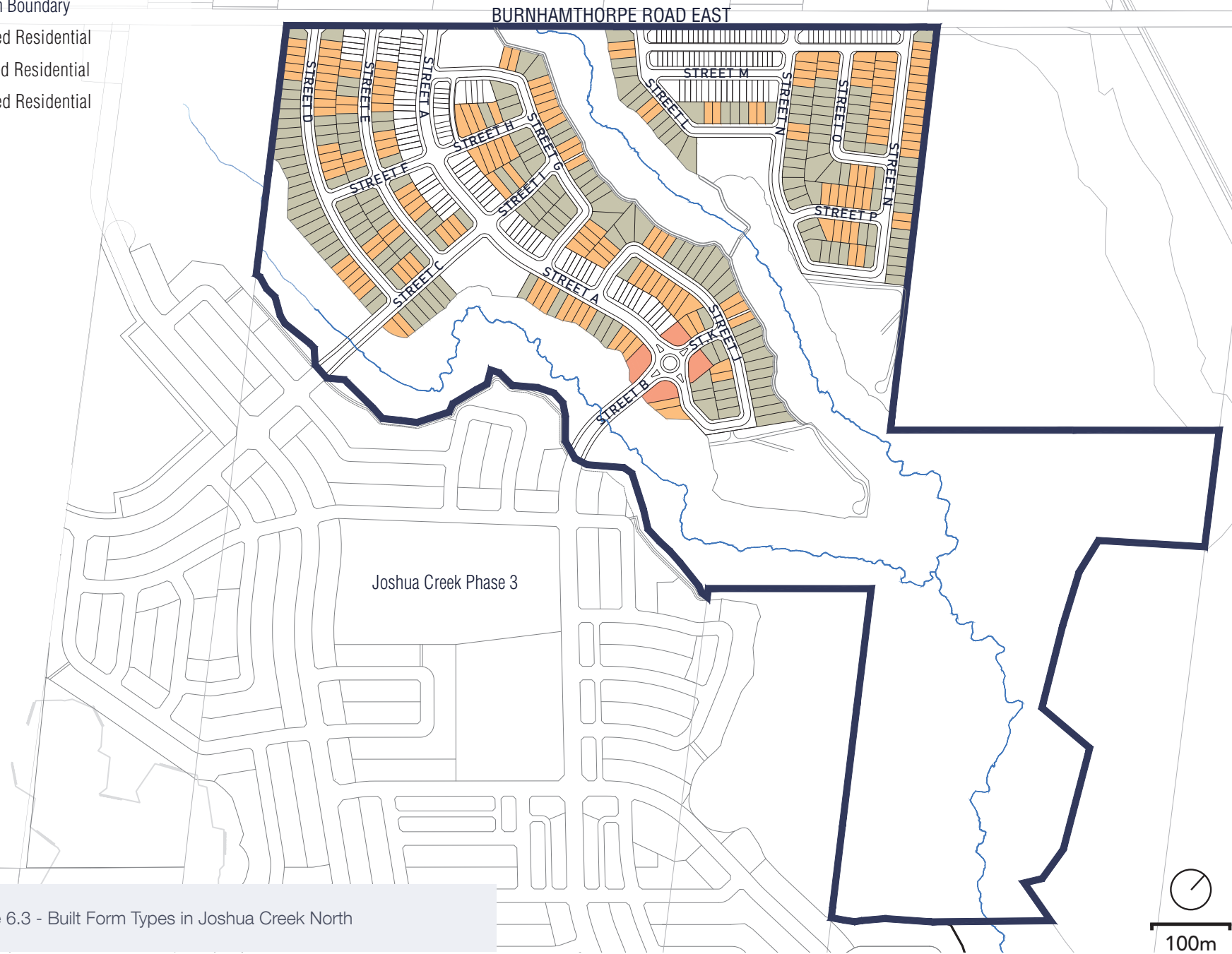


Figure 6.3 - Built Form Types in Joshua Creek North

6.3 Low Density Residential Areas

Low-density residential areas form the cornerstone of the Joshua Creek North community, representing the predominant land use within the development. The proposed master plan envisions a range of single-detached homes strategically located along local roads, offering convenient connections to the Natural Heritage System (NHS), a future elementary school, and a nearby neighbourhood park. These connections enhance accessibility and support a walkable, family-oriented community.

To create a visually appealing and cohesive streetscape, a diversity of architectural styles, elevations, and design features will be incorporated throughout the low-density residential areas. This variety fosters visual interest, enhances neighborhood character, and avoids monotony within the built environment.

The following guidelines will specifically address streetscape design and built form within these low-density residential areas, ensuring that the community reflects high-quality urban design principles and aligns with the broader development vision.



Figure 6.3.3 - Image example of 2-storey with prominent covered porch.

6.3.1 Streetscape

All streets within the low density residential areas are intended to provide a comfortable pedestrian experience, with local roads having relatively lower levels of local vehicular traffic. Similar to the Neighbourhood Centre Areas, street trees shall be appropriately spaced to create an effective canopy and strong streetscape presence.

Minor Collector Roads

Minor Collector Roads within the community provide key connections from the Neighbourhood Centre Area along Street 'A' to the surrounding neighbourhood and wider Joshua Creek community.

Typical roadway cross-sections for the 19.0m right-of way collector road (Street 'B' and Street 'C') include:

- Sidewalks on both sides of the street;
- One lane in each direction;
- On-street parking on one side of the street;
- Single row of trees in grass boulevards between sidewalk and curb.

Local Roads

Typical roadway cross-sections for the 17.0m right-of way local road include:

- Sidewalks on both sides of the street;
- One lane in each direction;
- On-street parking on one side of the street;
- Single row of trees in grass boulevards between sidewalk and curb.
- Street tree species shall adhere to approved Town of Oakville specifications;
- All planting shall be in accordance with the North Oakville Urban Forest Strategic Management Plan.
- Street light poles and luminaires shall reflect approved Town standards, consistent with the surrounding community.

Laneways

Lanes may be proposed with rear lane townhouses, where there is higher public visibility and an uninterrupted street frontage is desired.

A typical 11.0m laneway cross section includes:

- A sidewalk on one side of the street;
- One lane in each direction; and
- Garages and driveways fronting the laneway.

A typical 7.5m laneway cross section includes:

- One lane in each direction; and
- Garages and driveways fronting the laneway.

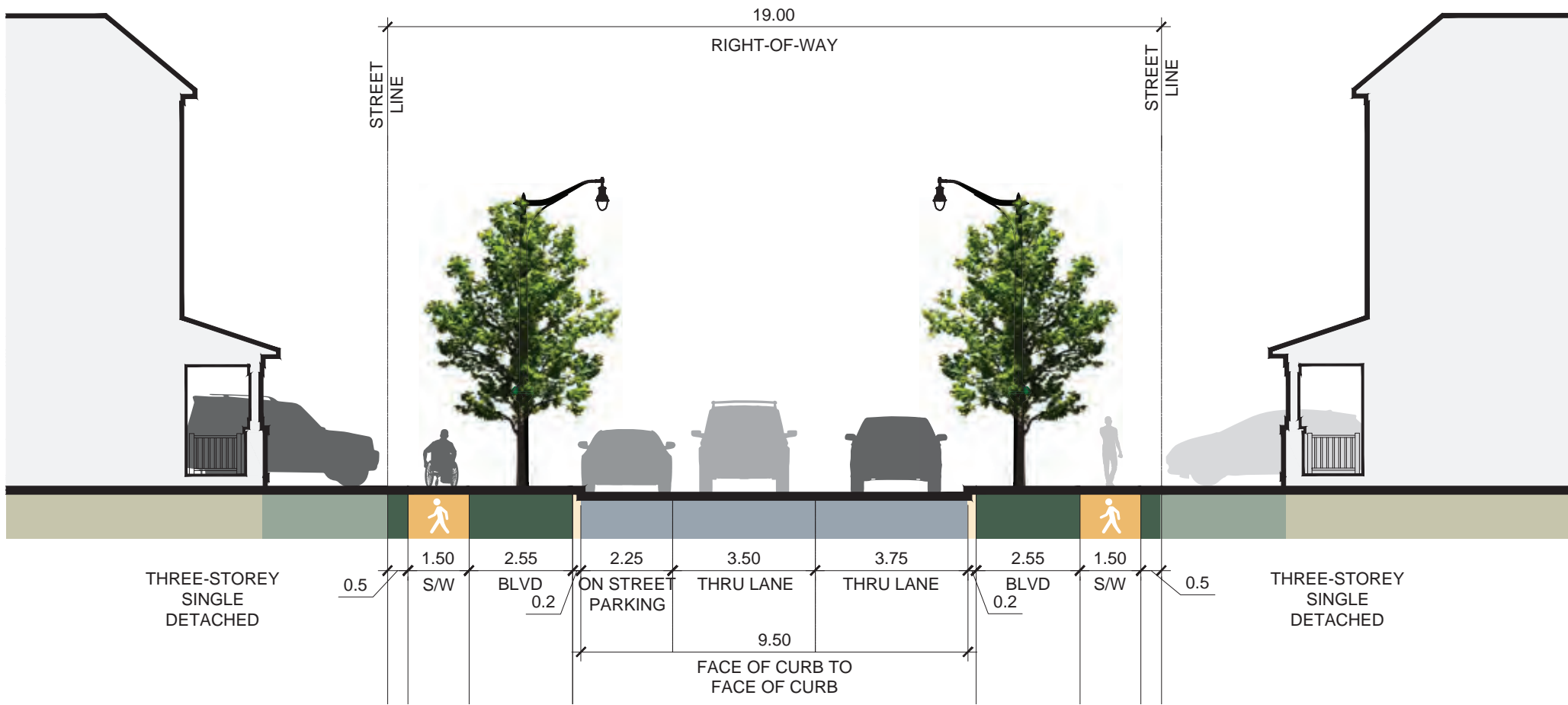


Figure 6.3.1a - 19.0m Local Right-of-Way

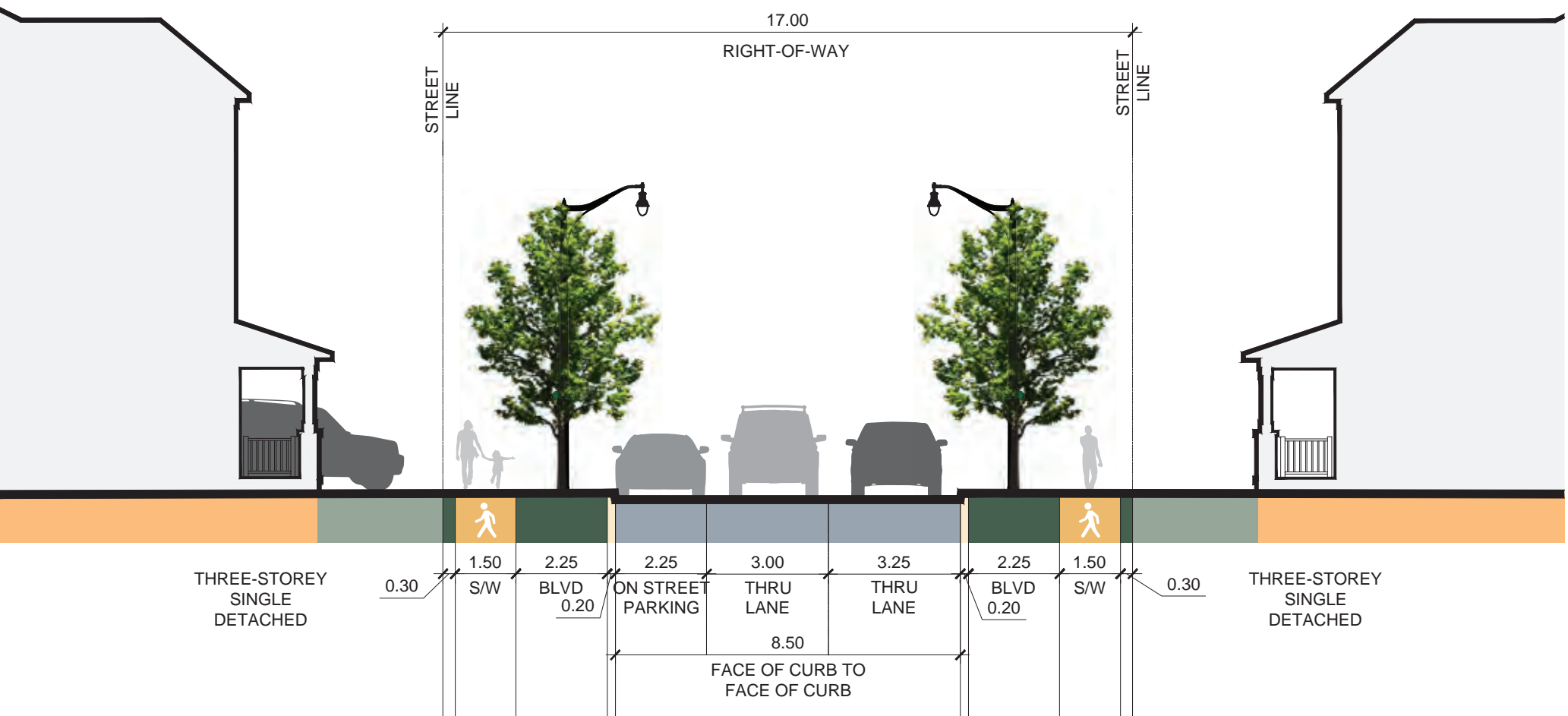


Figure 6.3.1b - 17.0m Local Right-of-Way

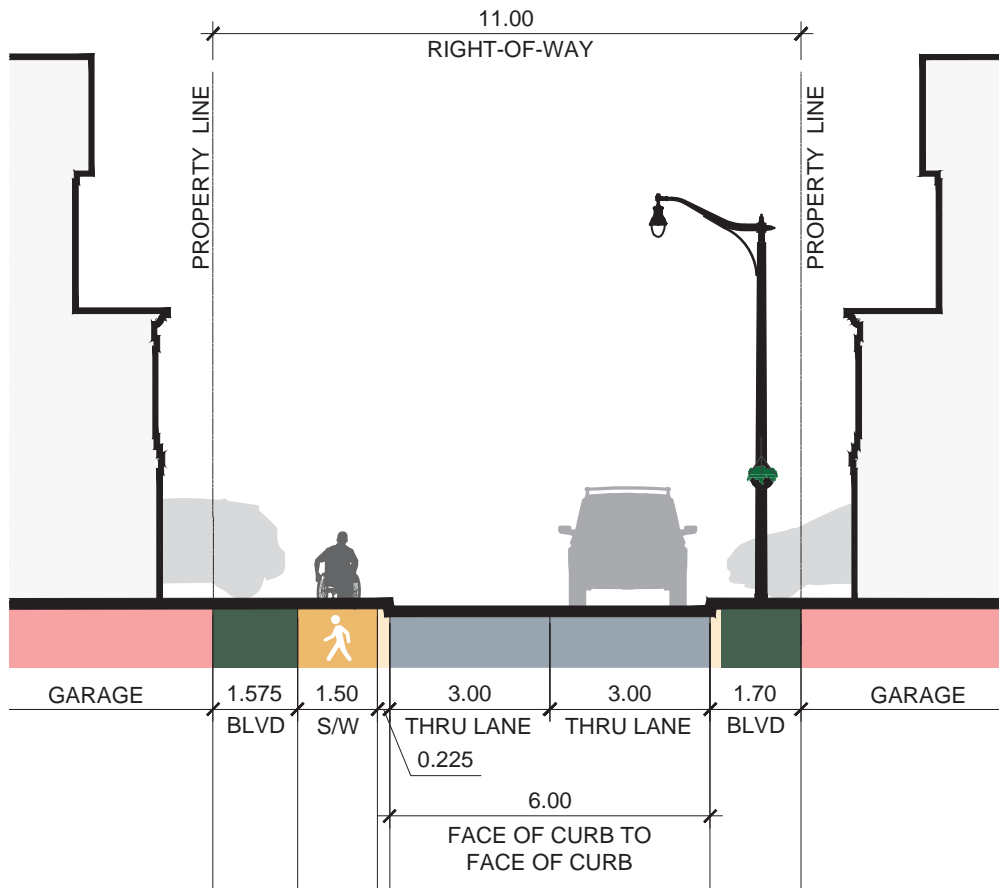


Figure 6.3.1c - 11.0m Laneway Right-of-Way

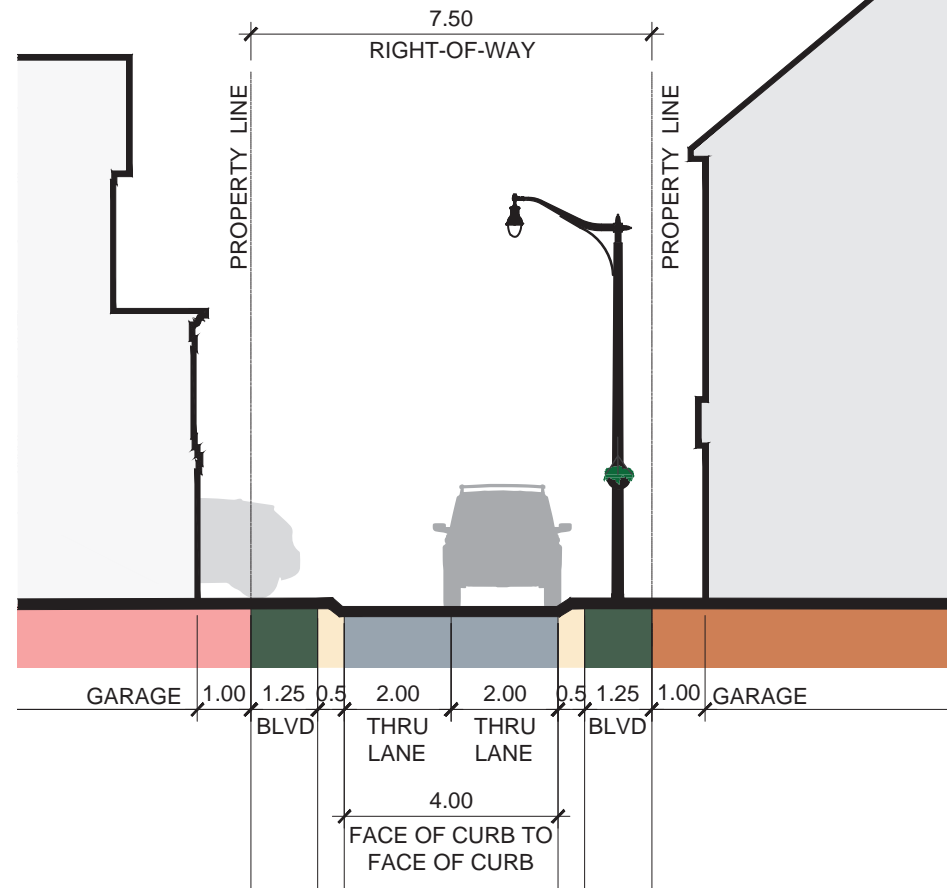


Figure 6.3.1d - 7.5m Laneway Right-of-Way



Figure 6.3.2a - Image examples of 2-storey single detached dwellings showing variety in architectural style and detailing.

6.3.2 Single Detached Dwellings

The low density residential areas propose a range of single detached residential products. The built form in these areas should be designed to provide visual interest along the streetscape.

Height / Massing

- A mix of 2 and 3-storey buildings will be permitted. To ensure appropriate massing relationships, careful consideration shall be given to siting of dwellings.
- Buildings located adjacent or opposite one another should be compatible in terms of height and massing. Extreme variations should be avoided, such as:
 - Avoid siting 3-storey dwellings adjacent to bungalows, raised bungalows or 1-1/2-storey dwellings;
 - When 2-storey dwellings are sited among bungalows or 3-storey dwellings, they should be placed in groupings of at least 2 units;
 - When 3-storey dwellings are sited among 2-storey dwellings they should be placed in groupings of at least 2 units.

Architectural Elements and Materials

- To ensure interesting façades, consideration should be given to the massing, proportions, wall openings and plane variations of building elevations.
- The façade detailing, materials and colours of a dwelling should appear authentic and be consistent with the architectural style. Materials shall be of a high-quality.
- Architecture shall be complimentary and consistent with the housing designed for the other Joshua Creek development.
- Stylistic influences may be borrowed from traditional-period Ontario precedents, and may include Victorian, Georgian, French Chateau, English Manor, Craftsman, Tudor, Modern, Contemporary, Colonial, etc.

Architectural Variety

- Single detached-dwellings should be designed to contribute individually and collectively, to the character of the various neighbourhoods.
- Dwellings should be designed with two highly differentiated elevations. Models for which there is high demand should have additional facade treatments to avoid the effect of monotony in the streetscape.
- Identical elevations should appear a maximum of three times per row of ten single-detached dwellings and shall not be permitted directly across the street; dwellings with the same exterior colour package may be repeated a maximum of every three dwellings. For visual diversity along each street, no fewer than two detached dwellings should be present between identical elevations.
- Identical colour packages should be avoided for dwellings located opposite from one another.

- No more than three alternative elevations of a same model may be sited alongside one another. At least two different model designs (with different building footprints and floor plans) should occur per group of ten dwellings, except at gateway lots.
- With regard to corner lots, dwelling designs shall offer distinctly different exterior colour packages. Flanking elevations must also not be the same as those on lots abutting or directly opposite. Identical kitty-corner lot elevations with distinctly different exterior colour packages are acceptable.



Figure 6.3.2b - Single detached dwellings with 2-storey massing should offer a variety of designs that include prominent porch entries as well as articulated facade treatments

Porches

- Designs with covered front porches or porticos are desirable in so far as they are consistent with the architectural style.
- To reduce the visual impact of garages and create a comfortable pedestrian environment along the streetscape, porches may be located closer to the street than garages.
- On corner lots, wraparound porches are encouraged where appropriate to the dwelling style.
- Where main dwelling entries are visible from the street they should be appropriately lit.
- To provide variety along the streetscape, some dwellings may feature side entries.
- Where porches are used, they should be functional and kept as open as possible.
- Where porticoes are used as a covered porch with walls, they should be consistent in proportion and scale to suit the style of architecture they are intended for and be kept as open as possible.

Garages

- Where garages are attached, they should be integrated into the main massing of the dwelling with limitations to their projection into the front yard.
- Attached garages located within the front or flankage yards and accessed from the street shall be of a similar architectural style and proportional scale to the adjoining dwelling, with limitations to their projection into the front or flankage yards.
- Light fixtures mounted to the side or above the garage door is encouraged, with a lamp style consistent with the architectural style of the dwelling.

- Street facing garages should be minimized in scale in compliance with the vision for North Oakville. The following are considered acceptable design options for attached street facing garages:
 - Integrate the garage into the main massing of the dwelling, in line with the porch projection;
 - Integrate the garage into the main massing of the dwelling, in line with the main front wall;
 - Situate the garage to the side of the dwelling, set back from the main front wall.
- Where a double car garage is contemplated, 2 individual garage doors / bays separated by a dividing column is preferred, where possible.
- Only sectional, roll-up type garage doors shall be considered.
- A variety of garage door header treatments shall be utilized and shall be consistent with the architectural style of the dwelling.
- Where dropped garage conditions occur on rear-to-front sloping lots, alternative architectural treatment shall be employed to minimize the massing between the top of the garage door and the underside of the soffit. The following are some techniques that may be considered:
 - Lower the garage door and/or increase the roof pitch;
 - Add a decorative gable louvre or feature;
 - Integrate additional architectural treatment such as decorative brick patterns to provide a break in the massing;
 - Consider window treatments above the garage doors, as appropriate to the dwelling; and
 - Provide wider and/or arched lintels over the garage door to reduce the massing.



Figure 6.3.2c - Example of elevations for 38' single detached dwellings in Joshua Creek North showing architectural variety that will contribute to the character of the community

6.3.3 Townhouse Dwellings

Townhouses make efficient use of land, reduce energy consumption and increase the diversity of built form within a community. These dwellings are most often clustered to provide strategic density increases as appropriate to the road hierarchy, public transit stops and areas where increased pedestrian activity is desired. Joshua Creek North will contain townhouse dwellings that range from the traditional on-street townhouses to rear lane towns.

Height / Massing

- A mix of 2 and 3-storey buildings will be permitted. To ensure appropriate massing relationships, careful consideration shall be given to siting of dwellings.
- Buildings located adjacent or opposite one another should be compatible in terms of height and massing. Extreme variations should be avoided, such as:
 - Avoid siting 3-storey dwellings adjacent to bungalows, raised bungalows or 1-1/2-storey dwellings;
 - When 2-storey dwellings are sited among bungalows or 3-storey dwellings, they should be placed in groupings of at least 2 units; and
 - When 3-storey dwellings are sited among 2-storey dwellings they should be placed in groupings of at least 2 units.
- Townhouse block composition shall display massing and design continuity, while achieving adequate elevation variety, where appropriate to a given architectural style.
- Adequate wall articulation is required to avoid large expanses of roof or wall planes: stepping of units and the addition of porches, bays and gables may be considered where necessary.

Architectural Elements and Materials

- Facades should be designed to incorporate architectural elements found on lower density residential forms, such as peaked roofs, gables, porches and roof overhangs.
- The treatment of balconies facing the street is critical to the overall design quality of the facade. A well-articulated balcony and railing design shall be consistent with the architectural theme of the building and shall integrate high quality, durable and low maintenance materials.
- Ample fenestration shall be provided along building sides fronting onto the streets to visually connect with the streetscape.
- The design of flat-roofed buildings should incorporate cornice/parapet treatments.
- Privacy screens, coordinated with the design treatment of the townhouse, shall be considered between neighbouring units to provide privacy.
- Utility meters and utility service connections should be minimized from public view. Where there are no interior side yards, utility and service connections should be screened from view, through landscape treatment, or recessed into the wall, subject to standard access requirements for a given utility company.

Porches

- For corner dwellings, corner unit entries should be oriented to the flankage street, especially on lots flanking parks or open spaces.
- Consistent with the architectural style, designs with covered front porches or porticos are desirable.
- The main front entry should be oriented to the front lot line for interior units and to the flanking lot line for corner units.
- To minimize their appearance, consideration should be given to the location of utility meters, while complying with utility company requirements.
- Reflecting the Town's standards in the Livable by Design Manual, Section 3.3.12, it is anticipated that main entrances will not be raised more than 900mm from the abutting sidewalk.



Figure 6.3.3 -Image example of 3-storey townhouse with prominent covered porch that serves as a welcoming feature, offering shelter and a space for outdoor seating.

Garages

- To avoid prominence in the streetscape, street-facing attached garages may be integrated into the main building massing.
- Street townhouses will have a single car, front-facing garage accessed from the street, accommodating two (2) cars per unit (1 in garage and 1 on driveway).
- Street-accessed townhouses may feature single-, one-and-a-half- or two-car garages.
- Lane-based townhouses may feature single- one-and-a-half- or two-car garages with access from the lane.
- Lane accessed garages may be attached or detached from the dwelling.
- The design of garages shall be consistent with the architectural style of the dwelling with respect to materials, massing, character and quality.
- Only sectional, roll-up type garage doors shall be considered.
- Pairing of garages within the laneway, and the resulting pairing of side yards, may be considered as appropriate to the lot configuration (i.e. rear-access garage dwellings).
- Parking pads may be considered beside rear lane garages for interior lots and between a rear yard garage and a flankage lot, as appropriate to a given lot size and rear yard area requirements.

LEGEND

-  Joshua Creek North Boundary
-  Street Townhouses
-  Rear Lane Townhouses
-  Single Detached Residential
-  Mixed Use Block
-  Corner Dwellings
-  Dwellings Adjacent to Roundabout
-  View Terminus Dwellings
-  Upgraded Rear and Side Architecture
-  Dwelling Fronting onto Park or Open Space
-  Stormwater Management Pond
-  Natural Heritage System
-  Village Square

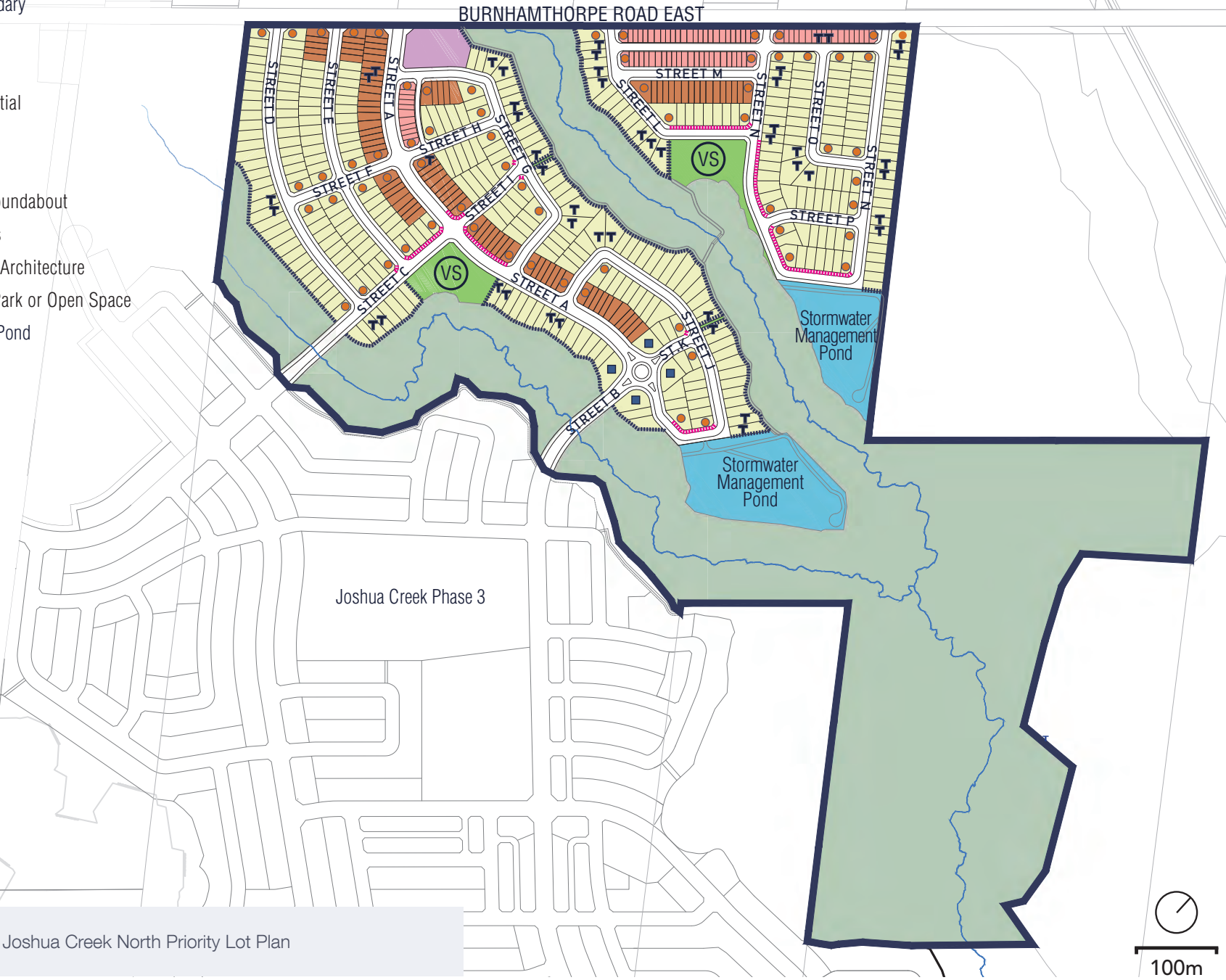


Figure 6.4 - Joshua Creek North Priority Lot Plan

6.4 Priority Lots

Priority lots are those located prominently within the community. Their visual significance within the streetscape requires that the siting, architectural design and landscape treatment of residential built form on these lots be of an exemplary quality to serve as landmarks within the community. Prominent lot locations identified have a greater degree of visibility and, therefore, require special design consideration to ensure an attractive built form, appropriate to its location, is achieved.

The following priority lot plan for Joshua Creek North demonstrates the lot locations requiring special design considerations, including corner lots, view terminus lots, and dwellings requiring upgraded rear and side architecture facing the NHS, neighbourhood parks, school, villages squares, and open space blocks.



Fig. 6.4.1 - Image examples of a corner lot dwelling that addresses both street frontages with the long elevation facing the flanking street

6.4.1 Corner Lot Dwellings

Dwellings on corner lots typically have the highest degree of public visibility within the streetscape and are important in portraying the image, character and quality of the community.

- Dwelling designs must be appropriate for corner locations, with elevations that address both street frontages. Dwelling designs intended for internal lots will not be permitted unless the flankage elevation is upgraded to address the street.
- Both street frontages for corner lot dwellings shall reflect similar levels of architectural detail with respect to massing, roofline character, fenestration, materials, details, etc.
- Distinctive architectural elements, such as wraparound porches, porticos, bay windows, ample fenestration, window treatment, wall articulation, brick arrangement and colour, etc. appropriate to the architectural style of the dwelling, are encouraged on the flankage side to create an interesting streetscape and emphasize the corner dwelling's landmark function.
- The main entry of the corner dwelling is preferred on the long elevation facing the flanking street. Alternatively, the shorter (front facing) side of the lot may still integrate the main entry for the dwelling.
- A privacy fence shall enclose the rear yard portion of the corner lot dwelling. In order to minimize the length of the fence facing the flanking street, it shall begin as close as possible to the rear corner of the dwelling.
- Rear lane garages on corner lots shall have upgraded side elevations facing the street.
- At corner gateway locations, porches and main entries shall be oriented away from the corner and associated gateway feature to ensure appropriate accessibility.

6.4.2 Dwellings Adjacent to a Roundabout

Dwellings located adjacent to a roundabout shall be designed in a manner that prioritizes clear sightlines, proper traffic flow, and harmonious integration with the surrounding environment. The following design guidelines shall be applied in the design of dwellings adjacent to a roundabout:

- Ensure that the design of the lots maintains clear sightlines for both vehicles and pedestrians. Trees, fences, or buildings should not obstruct the view of vehicles approaching the roundabout, as well as pedestrians crossing at designated crosswalks.
- Position the primary facade towards the roundabout for better visibility and engagement with the streetscape.
- Ensure materials and architectural styles align with the surrounding neighborhood to maintain cohesive aesthetics.
- Use landscaping strategically to define boundaries and soften the harshness of traffic but ensure it doesn't obstruct visibility or traffic flow. Low-level shrubs or ground cover can be effective, and trees can provide shade without becoming a hazard.
- The design of buildings should respond to both the roundabout and the surrounding context. Consider stepping down the building heights near the roundabout to avoid overpowering the space, especially if the roundabout is located in a residential or low-rise area.
- Design driveways to ensure that vehicles entering and exiting the lots do not conflict with the flow of traffic around the roundabout. Avoid having lot entrances that open directly onto the roundabout, as this can disrupt the flow of traffic.



Fig. 6.4.2b - Image examples of dwellings adjacent a roundabout, showcasing an elevation with the entrance oriented toward the roundabout and the garage door positioned away from it.



Figure 6.4.3 - Image example of a view terminus dwelling with facade detailing appropriate to its visible location

6.4.3 View Terminus Dwellings

View terminus dwellings are situated at the top of T-intersections or street elbows, where one road terminates at a right angle to the other. These dwellings play an important role in defining a terminating long view corridor.

- A prominent architectural element, massing or material arrangement should be provided to terminate the view.
- Driveways should be located to the outside of the lot, rather than in-line with the view corridor, to reduce the impact of the garage on the terminus view and allow for front yard landscaping to become the focus, along with the architectural treatment.



Fig. 6.4.4 - Image example of an upgraded side architecture dwelling with prominent exposure to the public realm.

6.4.4 Upgraded Rear and Side Architecture Dwellings

Where a dwelling's rear or side elevation is prominently exposed to the public realm, both the front and side/rear elevations shall be designed with similar architectural emphasis with respect to details, materials, roofline character, fenestration, wall articulation, etc.

- The design of the applicable rear and/or side facade shall, therefore, acknowledge the prominent exposure to the public realm.
- Potential upgrades to the applicable elevation includes bay windows or other additional fenestration, window treatments, frieze boards, brick detailing (quoining, dichromatic), gables and dormers, wall articulations, etc.

6.4.5 Dwellings Fronting Onto Parks or Open Space

Given the prominence of the Village Parks and their role as focus and gathering spaces for the community, dwellings that front onto these spaces shall be designed in a manner that considers and complements the exposure to this public open space. The following design guidelines shall be applied in the design of dwellings fronting onto parks and open spaces:

- Building facades exposed to public view due to exposure to open spaces will have an enhanced built form treatment that is consistent with the overall architectural style of the building. The treatments can include prominent front porches, well-proportioned windows, projecting bays, articulated wall treatments and other design elements that enhances the exposed elevations.
- The use of upgraded materials and detailing, such as stone or precast elements, dichromatic brick, quoining, etc. shall be integrated into the elevation design, consistent with the architectural style.
- Dwellings are encouraged to have wider and deeper porches that effectively allow for multiple seating and will promote 'eyes on the street', which results in an informal monitoring of the park and pond activities.
- Where a building's side elevation is exposed to the public realm, both the front and exposed side elevations shall be of equal quality in terms of the architectural materials, amount and proportions of openings and attention to architectural detail.



Fig. 6.4.5 - Image example of dwellings fronting onto parks that show variety of massing, colour and exterior cladding.

LEGEND

-  Joshua Creek North Boundary
-  Bike Lane (On Road)
-  Signed Bike Route
-  Off Road Trails
-  Street Townhouses
-  Rear Lane Townhouses
-  Single Detached Residential
-  Stormwater Management Pond
-  Natural Heritage System
-  Village Square

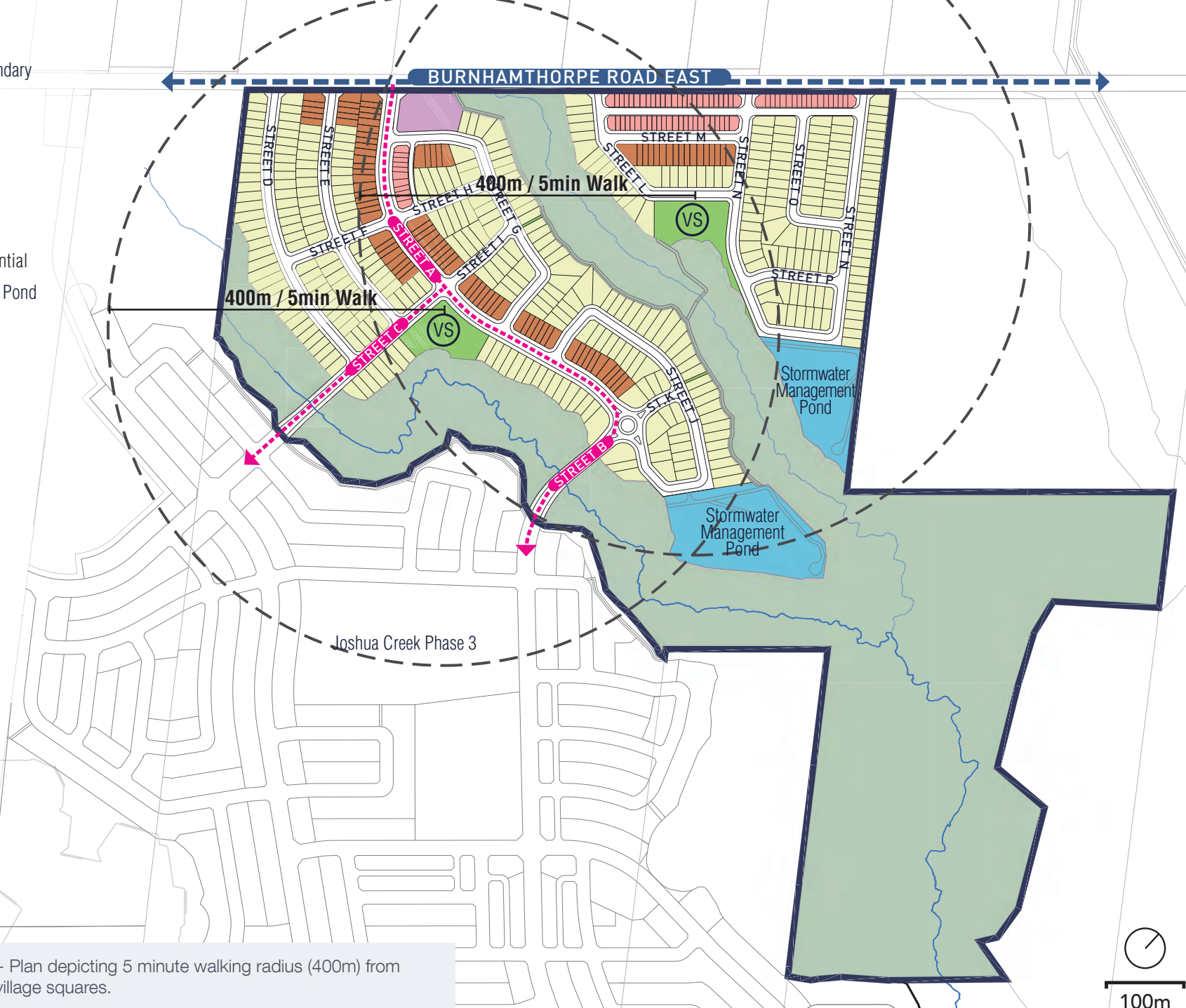


Figure 6.5 - Plan depicting 5 minute walking radius (400m) from proposed village squares.

6.5 Sustainability Features

Sustainable development practices balance the health and well-being of the environment and related resources with the pressure of urbanization, bringing forward strategies to better manage increased population densities, resource and energy consumption and vehicular traffic volumes.

Walkability is one of the cornerstones of the overall Joshua Creek community sustainability strategy. Open spaces and amenities within Joshua Creek North are located within comfortable walking distance of the majority of residents. In addition, proposed trails linked with the sidewalk network shall offer convenient and enjoyable pedestrian connections.

Sustainability is supported by:

- The proposed village squares are located within comfortable walking distance (400m / 5 minute walk) of the majority of residents.
- Pedestrian-scaled streets with housing and streetscape combining to create a comfortable, safe and attractive environment, through careful consideration of building scale, building placement and façade treatment, garage locations, and street trees, as well as road profiles;
- Proposed trails are linked with the sidewalk network and provide connections to the wider NHS system, offering convenient and enjoyable pedestrian connections.
- Pedestrian-scaled streetscapes that create a comfortable, safe, and attractive environment, through careful consideration of building scale, building and entrance placement, façade treatment, pedestrian connections, foundation planting, and street trees.

The following sustainable development practices may also be considered within the Joshua Creek North development:

- Provide landscaping that increases the urban canopy, creates comfortable micro-climate conditions, mitigates negative seasonal effects (wind breaks or shade canopy) and contributes to overall biodiversity.
- Emphasize the sourcing of local materials and manufactured components where possible.
- Consider shading screens, eaves and overhangs to reduce heat absorption through windows.
- Utilize low-e glass and other energy efficient materials and construction methods.
- Consider introducing advanced technologies and practices into the building process where possible.
- Utilize recycled materials where possible, reducing the demand for new materials and increasing the market for recycling.
- To encourage a reduction in automobile usage, ensure pedestrian circulation is integrated into the design of the community;
- Select lighting poles, luminaires, and light levels that are appropriate to the site and function to avoid excessive illumination and light pollution.
- Utilize energy efficient luminaires and bulbs to satisfy lighting requirements;
- As an alternative to automobile use, encourage cycling by establishing safe, efficient cycling connections and integrating bicycle racks, rings, or posts, where appropriate.



Figure 6.5.1 - Image example of a pedestrian trail and bridge connected and integrated within the community.

6.5.1 Low Impact Development Methods

The following sustainable development practices shall be considered:

- Provide landscaping that increases the urban canopy, creates comfortable micro-climate conditions, mitigates negative seasonal effects (wind breaks or shade canopy) and contributes to overall biodiversity.
- Emphasize the sourcing of local materials and manufactured components where possible.
- Consider shading screens, eaves and overhangs to reduce heat absorption through windows.
- Utilize low-e glass and other energy efficient materials and construction methods.
- Consider introducing advanced technologies and practices into the building process where possible.
- Utilize recycled materials where possible, reducing the demand for new materials and increasing the market for recycling.
- Pedestrian trails shall be connected and integrated with the sidewalks in the community.

7.0 IMPLEMENTATION

The Joshua Creek North Urban Design Brief complements the approved North Oakville Urban Design and Open Space Guidelines (November 2009). The Urban Design Brief strives to consider aspects of built form, streetscape, and open space design that are specific to the Mattamy Joshua Creek North lands within the overall Joshua Creek community, while ensuring that the proposed plan and urban design components are compatible and well-integrated with development plans for the surrounding future neighbourhood. The intended result is the development of a community that is reflective of the fundamental key design tenets of broader North Oakville planning area.

7.1.1 Architectural Design and Review Process

A design review process is required for all new ground-related freehold residential construction within Joshua Creek North to ensure new development proposals and building designs are in compliance with the requirements of this Urban Design Brief and with the North Oakville Urban Design and Open Space Guidelines.

Architectural design and siting proposals for residential built form shall be evaluated through an architectural control design review and approval process in accordance with Town of Oakville requirements and conditions of Draft Plan approval, including the following:

- That the Owner finalize and submit a revised Urban Design Brief. The Owner agrees that compliance with this condition is required prior to the Owner marketing or selling any such units;
- The Owner shall submit elevation drawings and typical lotting plans for all models on lots not subject to site plan control to Planning Services Urban Design staff for review and approval. Upon acceptance, these drawings shall be added as an Appendix to the Urban Design Brief. The Owner agrees that compliance with this condition is required prior to the Owner marketing or selling any such units.

Architectural design and siting proposals for medium density residential (except freehold townhouses), shall be evaluated through the Town of Oakville's Site Plan Approval process in accordance with the Town's Site Plan By-law. The Town may request that the Control Architect play an advisory role in the design review process.

7.1.2 Conditions to be satisfied prior to Marketing and Sales:

1. That the Owner agrees to implement the Town approved Urban Design Brief [date] to the satisfaction of the Town.
2. The Owner shall submit elevation drawings (all facades) and typical floor plans (all levels) for all models on lots not subject to Site Plan Approval to Planning Services Urban Design staff for review and approval. Upon acceptance, these drawings shall be added as an Appendix to the Urban Design Brief. The Owner agrees that compliance with this condition is required prior to the Owner marketing or selling any such units.
3. That the Owner shall select a control architect who shall ensure all development which is exempt from Site Plan Approval process, proceeds in accordance with the Town-approved Urban Design Brief. The Owner shall submit a letter to the Town from the selected control architect acknowledging the following:
 - A control architect has been retained for this subdivision and does not have any perceived or real pecuniary interests or conflicts with performing the required duties;
 - The control architect acknowledges the final Urban Design Brief prepared for this subdivision and agrees to implement the same;
 - The control architect is responsible for ensuring the Town-approved models, as appended to the Urban Design Brief, will be sited in accordance with the Urban Design Brief direction;
 - The control architect will ensure that any sold units meet the design direction and criteria of the Town-approved Urban Design Brief, prior to submitting for building permit review; and
 - The control architect will discuss with Town staff any identified issues; and the control architect will submit stamped/signed drawings with the building permit application in accordance with the foregoing.



421 RONCESVALLES AVE
TORONTO ON M6R 2N1
nakdesignstrategies.com

T: 416.340.8700