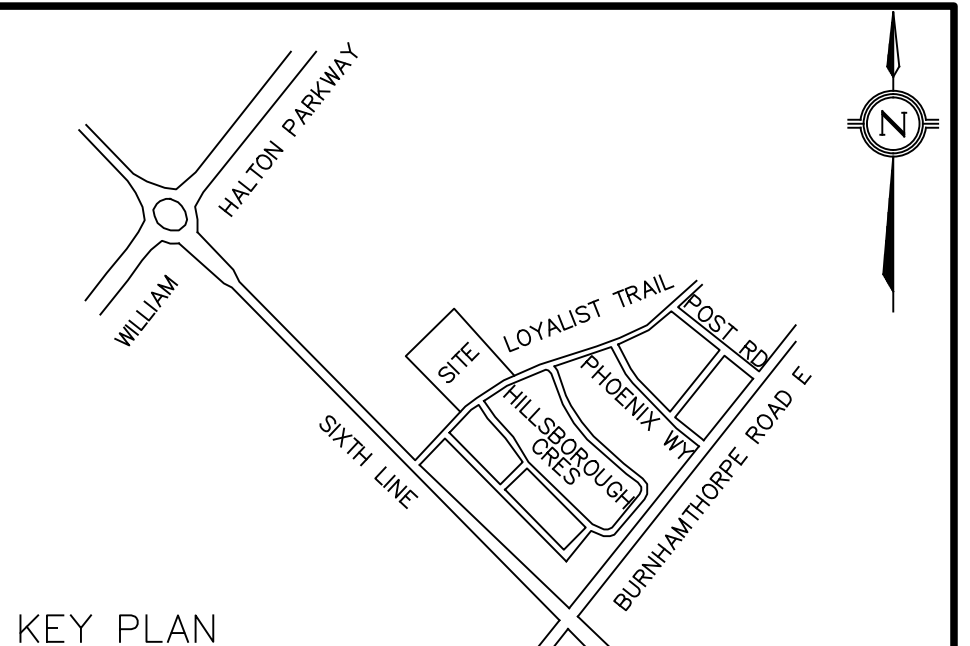
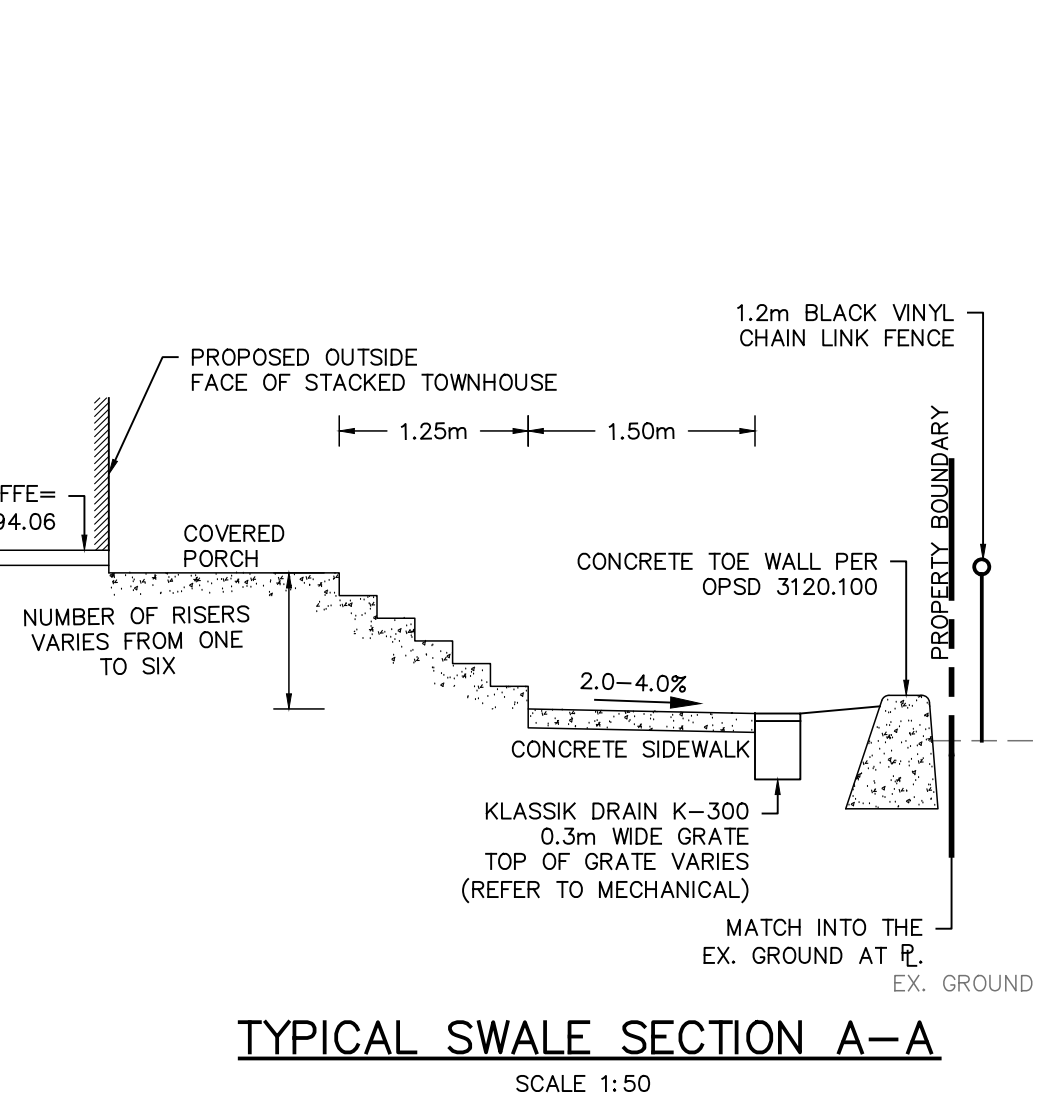
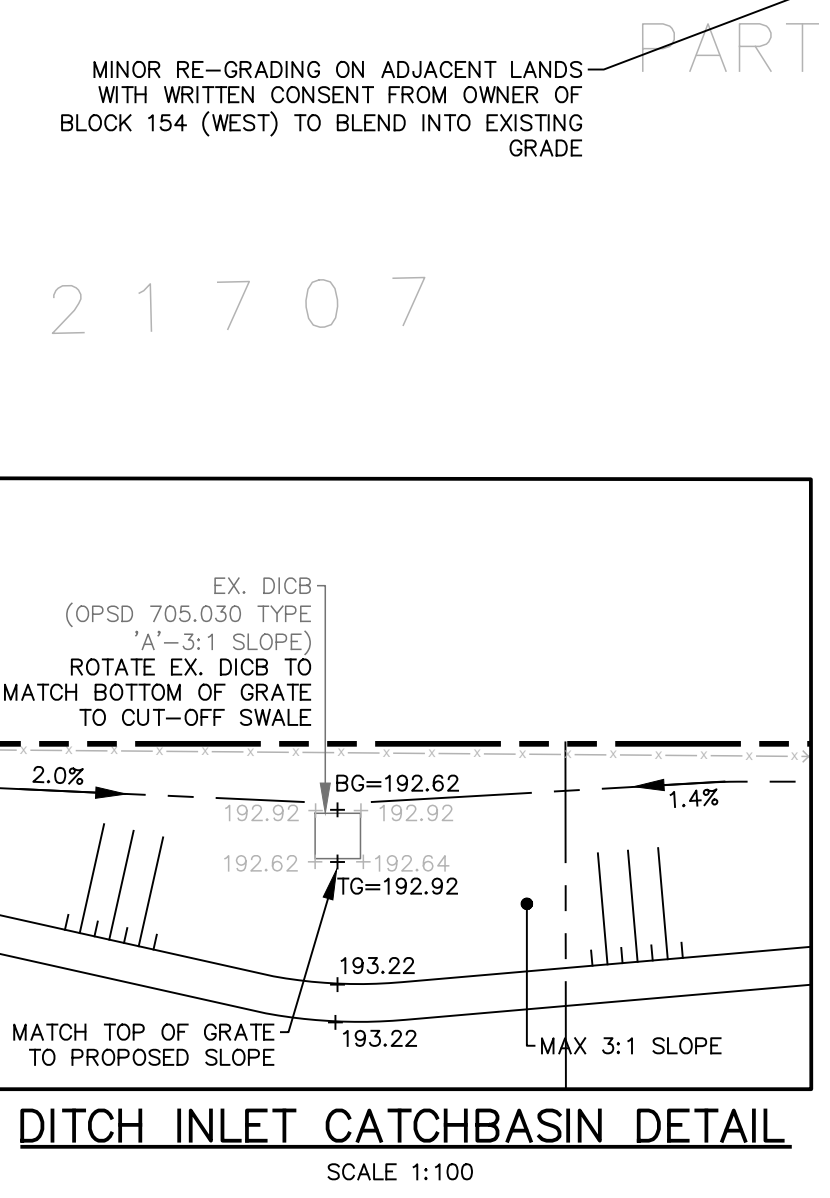


GENERAL NOTES

1. ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES FOUND PRIOR TO OR DURING CONSTRUCTION SHALL BE CLARIFIED WITH THE ENGINEER.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE REGIONAL MUNICIPALITY OF HALTON (INCLUDING REGION OF HALTON'S CONTRACTOR INFORMATION PACKAGE), THE TOWN OF OAKVILLE, AND THE ONTARIO BUILDING CODE (PART 7). ONTARIO PROVINCIAL STANDARD SPECIFICATIONS AND DRAWINGS (OPSS & OPSD) SHALL BE USED IN ABSENCE OF LOCAL STANDARDS.
3. RESTORE ROAD AS PER THE TOWN OF OAKVILLE ROAD CUT PERMIT.
4. ALL INFORMATION SHOWING THE LOCATION AND SIZE FOR EXISTING UTILITIES AND/OR SERVICES HAS NOT BEEN VERIFIED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES PRIOR TO CONSTRUCTION, AND PROTECTING AND MAINTAINING THE UTILITIES DURING CONSTRUCTION.
5. ALL REMOVED OR DAMAGED CURBS, SIDEWALKS, GRANULARS, ASPHALT AND SOIL RESULTING FROM SERVICE INSTALLATION SHALL BE REINSTATED BY SERVICING CONTRACTOR TO THE TOWN OF OAKVILLE STANDARDS.
6. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, MECHANICAL AND LANDSCAPE DRAWINGS.
7. THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADES AND ELEVATIONS, PRIOR TO CONSTRUCTION AND REPORT ALL DISCREPANCIES TO THE ENGINEER.
8. ALL GRADING CHANGES SHALL BE APPROVED BY THE ENGINEER AND TOWN OF OAKVILLE PRIOR TO IMPLEMENTATION.
9. THE CONTRACTOR SHALL CLEAN ALL MUD TRACKED ON TO ADJACENT ROADWAYS.

GRADING NOTES

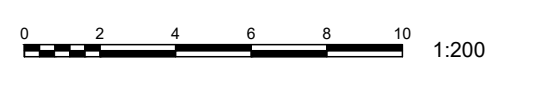
1. ALL TOPSOIL SHALL BE STRIPPED PRIOR TO GRADING.
2. ALL FILL PLACEMENT SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS.
3. ALL DISTURBED AREAS SHALL BE REINSTATED WITH SEED OVER 200-300mm OF TOPSOIL.
4. ALL DISTURBED AREAS WITH PUBLIC R.O.W. TO BE REINSTATED WITH 200mm TOPSOIL AND SOD.
5. ALL CURBING SHALL BE CONCRETE BARRIER CURB WITH STANDARD GUTTER PER OPSD 600.070 (150mm HIGH), UNLESS OTHERWISE NOTED.
6. ASPHALT DRIVEWAY PAVEMENT STRUCTURE SHALL BE PER THE GEOTECHNICAL CONSULTANT.
7. ALL YARD SURFACES FRONT AND REAR SHALL HAVE A MINIMUM SLOPE OF 2.0% UNLESS OTHERWISE INDICATED.
8. REAR YARDS ARE TO HAVE A MAXIMUM GRADE OF 5.0% FOR A MINIMUM APRON LENGTH OF 5 METRE DISTANCE FROM THE REAR FACE OF THE DWELLING WHERE POSSIBLE.
9. THE MAXIMUM SLOPE ALLOWED ON ANY YARD SURFACE SIDE, FRONT AND REAR SHALL BE 3:1 (3 HORIZONTAL TO 1 VERTICAL).
10. DRIVEWAY SLOPE SHALL BE A MINIMUM OF 1.0% AND A MAXIMUM OF 7.0% UNLESS OTHERWISE INDICATED.
11. RETAINING WALLS MAY BE USED SUBJECT TO APPROVAL BY THE TOWN.
12. ALL SWALES SHALL HAVE A MINIMUM DEPTH OF 150mm AND A MINIMUM SLOPE OF 2.0% FOR A MAXIMUM LENGTH OF 60m BEFORE OUTFALL, UNLESS INDICATED OTHERWISE.
13. WHEN THE SEPARATION BETWEEN ADJACENT BUILDINGS IS 1.2m OR LESS THE AREA BETWEEN THE BUILDINGS SHALL BE COVERED WITH 100mm DEPTH OF 19.0mm CLEAR STONE.
14. THERE SHALL BE A 0.6m WIDE PATH AT A 2.0% SLOPE AWAY FROM THE FOUNDATION AROUND ONE SIDE OF THE BUILDING, EXCEPT WHERE SIDE YARD SEIBACKS FROM LOT LINES DO NOT PERMIT. THIS IS TO ALLOW FOR THE CONSTRUCTION OF A WALKWAY TO THE REAR OF THE HOUSE.
15. FENCES WILL BE REQUIRED ON ALL RETAINING WALLS THAT EXCEED 0.6m IN HEIGHT. THE FENCE MUST BE A MINIMUM HEIGHT OF 1.2m AND CONFORM TO THE SWIMMING POOL ENCLOSURE BY-LAW 1991-23.
16. ALL DOWNSPOUTS TO SPLASH AT GRADE c/w CONCRETE SPLASH PAD PER TOWN STD-10-1.



LEGEND

- PROPOSED CATCHBASIN
- PROPOSED DOUBLE CATCHBASIN
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE & BOX
- PROPOSED CURB STOP
- PROPERTY BOUNDARY
- EXISTING ELEVATION
- PROPOSED ELEVATION TO REMAIN
- EXISTING INTERPOLATED ELEVATION TO REMAIN
- PROPOSED FINISHED ELEVATION
- PROPOSED SLOPE
- PROPOSED DRAINAGE DIRECTION
- PROPOSED SWALE DRAINAGE DIRECTION
- PROPOSED OVERLAND FLOW DIRECTION
- EXISTING OVERLAND FLOW DIRECTION
- PROPOSED SLOPE

NOT FOR CONSTRUCTION



NO.	DATE	BY/DRAWN	ISSUED FOR	REVISIONS
1	24/09/24	AJP	ISSUED FOR ZBA/OPA	

BENCHMARK
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE TOWN OF OAKVILLE VERTICAL BENCH MARK NUMBER 290 HAVING AN ORTHOMETRIC ELEVATION OF 174.661 METRES. ELEVATIONS ARE REFERENCED TO THE CANADIAN GEODETIC VERTICAL DATUM OF 1928, 1978 ADJUSTMENT (CGVD-1928/1978).
 SURVEY COMPLETED BY R-PE SURVEYING LTD. DATED APRIL 13TH, 2023.

NOTE
 SITE PLAN PREPARED BY HUNT DESIGN ASSOCIATES INC.

DESIGNED BY

APPROVED BY

TRAFALGAR ENGINEERING
 81-481 MORDEN ROAD, OAKVILLE, ON, L6K 3W6
 www.trafalgareng.com

PROJECT TITLE
 BLOCK 154 (EAST SIDE) STACKED TOWNHOUSE BLOCKS

LOCATION
 15 LOYALIST TRAIL
 OAKVILLE, ONTARIO

DRAWING TITLE
 GRADING PLAN

SCALE	1:200	DESIGN BY	AJP	PROJECT No.	1859
DRAWN BY	AJP	CHECKED BY	PC/JN	PLAN No.	G1
DATE	24/08/24	SHEET	1 OF 3		

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