

ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED OR DESTROYED UPON REQUEST.  
THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT.  
ALL DIMENSIONS ARE GIVEN IN MILLIMETRES UNLESS OTHERWISE NOTED.  
DO NOT SCALE DRAWINGS.

REVISIONS AND DISTRIBUTION LOG		
No.	Date	Notes
1	FEB 14, 2020	ISSUED FOR REVIEW
2	FEB 18, 2020	ISSUED FOR REVIEW
3	FEB 25, 2020	ISSUED FOR REVIEW
4	APR 29, 2020	RETAIL B & C REVISED
5	SEP 16, 2020	ISSUED FOR REVIEW
6	SEP 24, 2020	ISSUED FOR CO-ORDINATION
7	SEP 24, 2020	ISSUED FOR PRE-CONSULTATION APPLICATION
8	SEP 25, 2020	ISSUED FOR PRE-CONSULTATION APPLICATION
9	OCT 06, 2020	MUNICIPAL ADDRESSES UPDATED
10	DEC 08, 2020	ISSUED FOR SPA CO-ORDINATION
11	DEC 14, 2020	ISSUED FOR SPA CO-ORDINATION
12	DEC 15, 2020	ISSUED FOR SPA CO-ORDINATION
13	JAN 06, 2021	ISSUED FOR SPA CO-ORDINATION
14	JAN 15, 2021	ISSUED FOR SPA CO-ORDINATION
15	JAN 29, 2021	ISSUED FOR SPA CO-ORDINATION
16	FEB 04, 2021	ISSUED FOR SPA CO-ORDINATION
17	FEB 08, 2021	ISSUED FOR SPA CO-ORDINATION
18	FEB 12, 2021	ISSUED FOR SITE PLAN APPROVAL APPLICATION
19	MAR 11, 2021	BUILDING 'C' WIDTH INCREASED
20	APR 19, 2021	BUILDING 'B' REVISED / SHIFTED EASTWARDS
21	JUN 01, 2021	GENERAL SPA REVISIONS / BUILDING UPDATES
22	AUG 17, 2021	3.0m LANDSCAPE BUFFER PROVIDED
23	SEP 07, 2021	ISSUED FOR SITE PLAN APPROVAL APPLICATION
24	OCT 20, 2021	ISSUED FOR SITE PLAN CO-ORDINATION
25	OCT 25, 2021	ISSUED FOR SITE PLAN APPROVAL APPLICATION
26	NOV 04, 2021	ISSUED FOR SITE PLAN APPROVAL APPLICATION
27	JAN 17, 2022	ISSUED FOR SITE PLAN APPROVAL APPLICATION
28	MAR 08, 2022	BUILDING A, B & C REVISED PER TENANT REQUESTS
29	MAR 31, 2022	PYLON SIGNS ADDED
30	JUN 07, 2022	EV CHARGING LOCATIONS REVISED
31	AUG 10, 2022	FUTURE TRANSFORMER LOCATION REVISED
32	SEP 07, 2022	DETAILS SHEET A/101 ADDED
33	SEP 13, 2022	ISSUED FOR UNITS A&C PERMIT APPLICATIONS
34	SEP 27, 2022	UNIT C BARBER FREE PARKING REVISED
35	SEP 30, 2022	LANDSCAPE CHANGING LOCATIONS REVISED
36	FEB 23, 2023	ISSUED FOR UNIT C LOADING AREA PERMIT APP
37	MAR 23, 2023	ENBRIDGE GAS DISTRIBUTION CENTRE ADDED
38	APR 23, 2023	ISSUED FOR BLDGS E&F PERMIT APPLICATIONS
39	MAY 29, 2023	ISSUED FOR CONSTRUCTION
40	NOV 03, 2023	ISSUED FOR UNIT 'A' PERMIT REVISION
41	FEB 06, 2024	RE-ISSUED FOR UNIT 'A' PERMIT REVISION
42	JUN 17, 2024	RE-ISSUED FOR SITE PLAN AMENDMENT

**SITE STATISTICS:**

SITE AREA:	7.77 Acres	31,459.55m <sup>2</sup>	
BUILDING AREA:		GROSS FLOOR AREA	NET FLOOR AREA (*)
		sq. ft.	sq. m.
Unit A: Ground Floor	6,491 ft <sup>2</sup>	603.0 m <sup>2</sup>	5,192 ft <sup>2</sup>
Unit A: Second Floor	4,522 ft <sup>2</sup>	420.1 m <sup>2</sup>	3,798 ft <sup>2</sup>
Unit B:	32,327 ft <sup>2</sup>	3,003.2 m <sup>2</sup>	30,710 ft <sup>2</sup>
Unit C:	12,500 ft <sup>2</sup>	1,161.2 m <sup>2</sup>	11,625 ft <sup>2</sup>
Building D: Ground Floor	5,382 ft <sup>2</sup>	500.0 m <sup>2</sup>	4,238 ft <sup>2</sup>
Building D: Second Floor	5,382 ft <sup>2</sup>	500.0 m <sup>2</sup>	4,835 ft <sup>2</sup>
Building E:	5,382 ft <sup>2</sup>	500.0 m <sup>2</sup>	4,606 ft <sup>2</sup>
Building F:	5,382 ft <sup>2</sup>	500.0 m <sup>2</sup>	4,845 ft <sup>2</sup>
TOTAL:	77,368 ft <sup>2</sup>	7,187.5 m <sup>2</sup>	69,849 ft <sup>2</sup>

**OFFICE USES:**

Unit A: Ground Floor	346 sq. ft.	32.1 m <sup>2</sup>
Unit A: Second Floor	3,789 sq. ft.	352.0 m <sup>2</sup>
Unit B:	820 sq. ft.	76.2 m <sup>2</sup>
Unit C:	1,383 sq. ft.	128.5 m <sup>2</sup>
Building D: Ground Floor	1,286 sq. ft.	119.4 m <sup>2</sup>
Building D: Second Floor	4,835 sq. ft.	449.2 m <sup>2</sup>
Building E:	175 sq. ft.	16.3m <sup>2</sup>
Building F:	2,371 sq. ft.	220.3 m <sup>2</sup>
TOTAL OFFICE FLOOR AREA:	15,005 sq. ft.	1,394.0 m <sup>2</sup>

(\*) "Floor Area, Net - as defined in Zoning By-Law 2014-014

**TOTAL RETAIL / SERVICE COMMERCIAL AREA:**

BUILDING COVERAGE:	6,488.5m <sup>2</sup> / 31,459.55m <sup>2</sup> = 20.6%
LANDSCAPED AREA:	Planting Areas = 3,721m <sup>2</sup>
	Walkways = 2,513m <sup>2</sup>
	Total = 6,234m <sup>2</sup>
	6,234.0m <sup>2</sup> / 31,459.55m <sup>2</sup> = 19.8%

**FUTURE DEV. AREA:**

PAVED AREA:	3,621.2m <sup>2</sup> / 31,459.55m <sup>2</sup> = 11.5%
PARKING AT GRADE:	15,132.0m <sup>2</sup> / 31,459.55m <sup>2</sup> = 48.1%

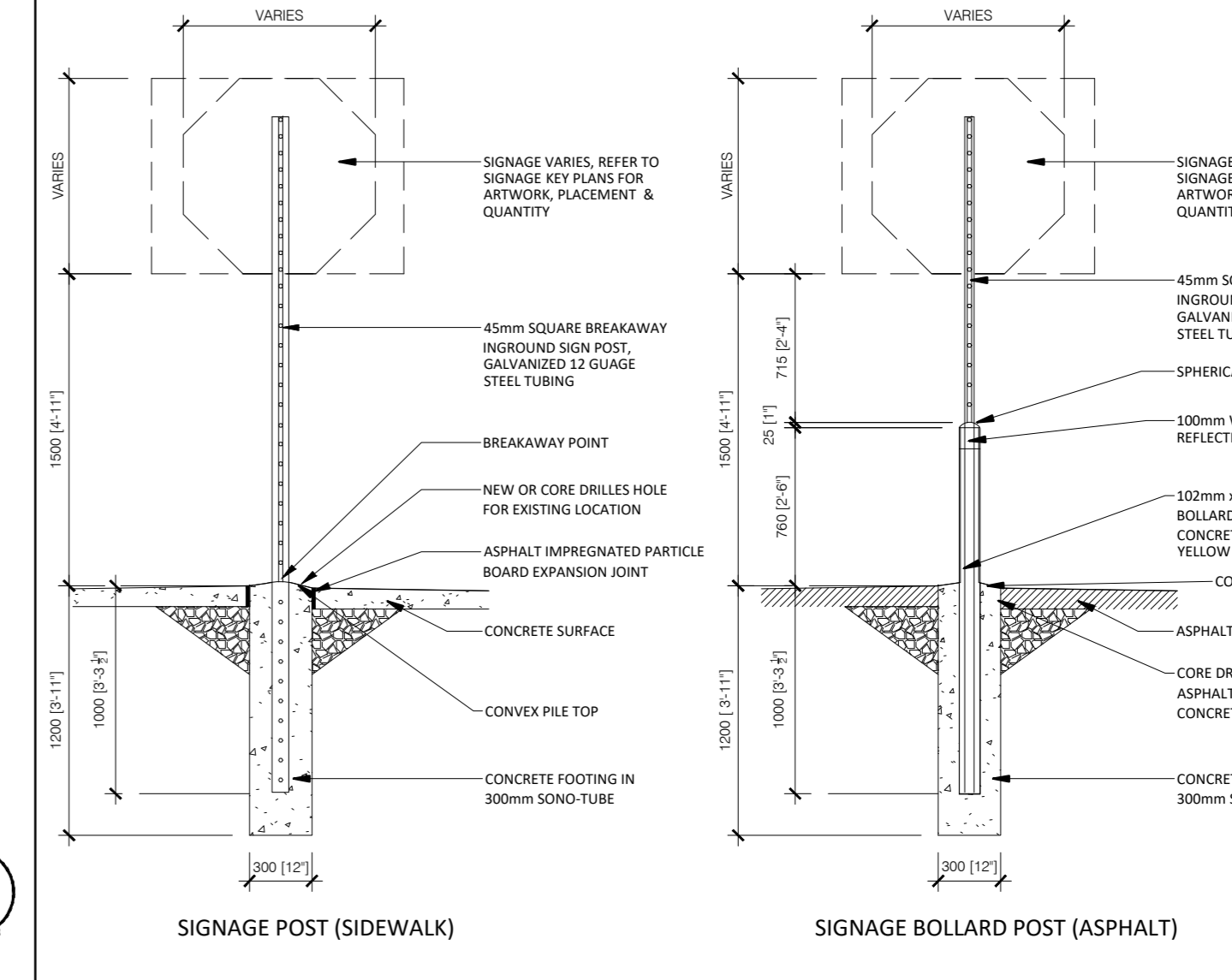
**320 SPACES PROVIDED**  
includes: 13 ACCESSIBLE SPACES  
(4.58/1000ft<sup>2</sup> Net) (4.93/1000m<sup>2</sup> Net)  
**296 SPACES REQUIRED - COMMERCIAL**  
1 SPACE / 22m<sup>2</sup> GROUND FLOOR AREA (Net)  
(5,687.0 m<sup>2</sup>) = 259 spaces  
1 space / 22m<sup>2</sup> OUTDOOR PATIO AREAS 'D' & 'E'  
(175.2m<sup>2</sup>) = 8 spaces  
1 SPACE / 28m<sup>2</sup> SECOND FLOOR AREA 'A' & 'D' (Net)  
(802.0 m<sup>2</sup>) = 29 spaces

- TYPICAL PARKING SPACE : 2.80m x 6.0m (16.8m<sup>2</sup>), 6.0m DRIVE AISLE
- HANDICAPPED PARKING SPACES : 6 - Type A @ 3.65m x 6.0m
- FIRE ROUTE : 6.0m WIDE, MIN. 12.0m TURNING RADIUS

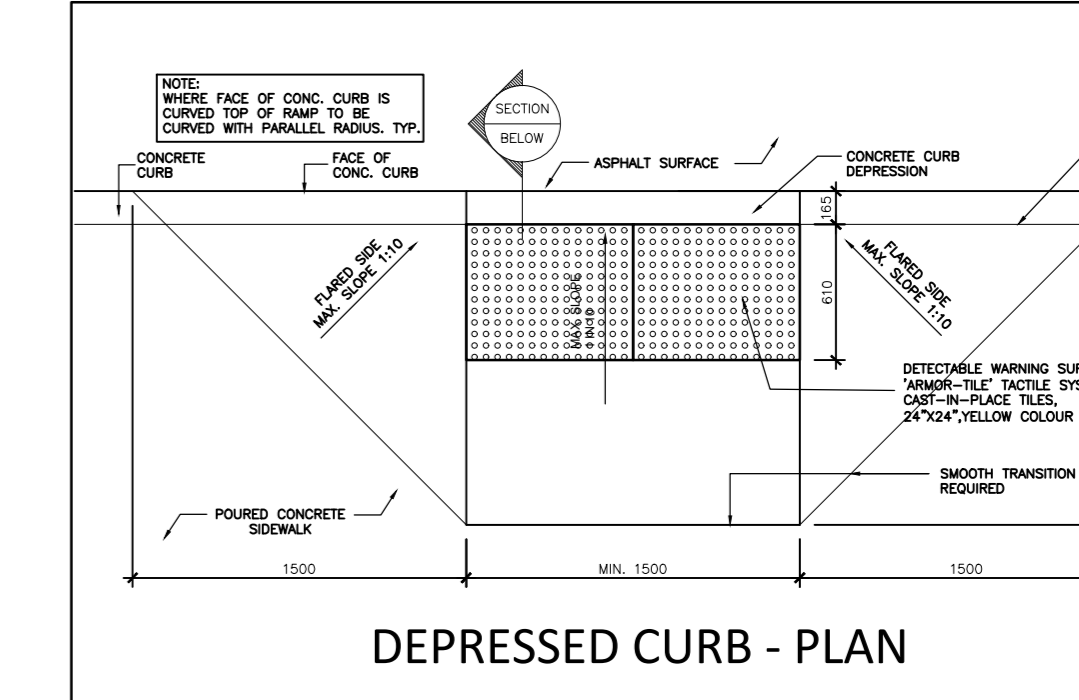
**SIGNAGE LEGEND**

- STOP
- ACCESSIBLE PARKING SPACE (TYPE A - VAN ACCESSIBLE)
- ACCESSIBLE PARKING SPACE (TYPE B - REGULAR SPACE)
- FAMILY / EXPECTANT MOTHER PARKING SPACE
- FIRE ROUTE
- ELECTRIC VEHICLE CHARGING
- NO PARKING LOADING ZONE
- DAYCARE PICK-UP/DROP-OFF ONLY

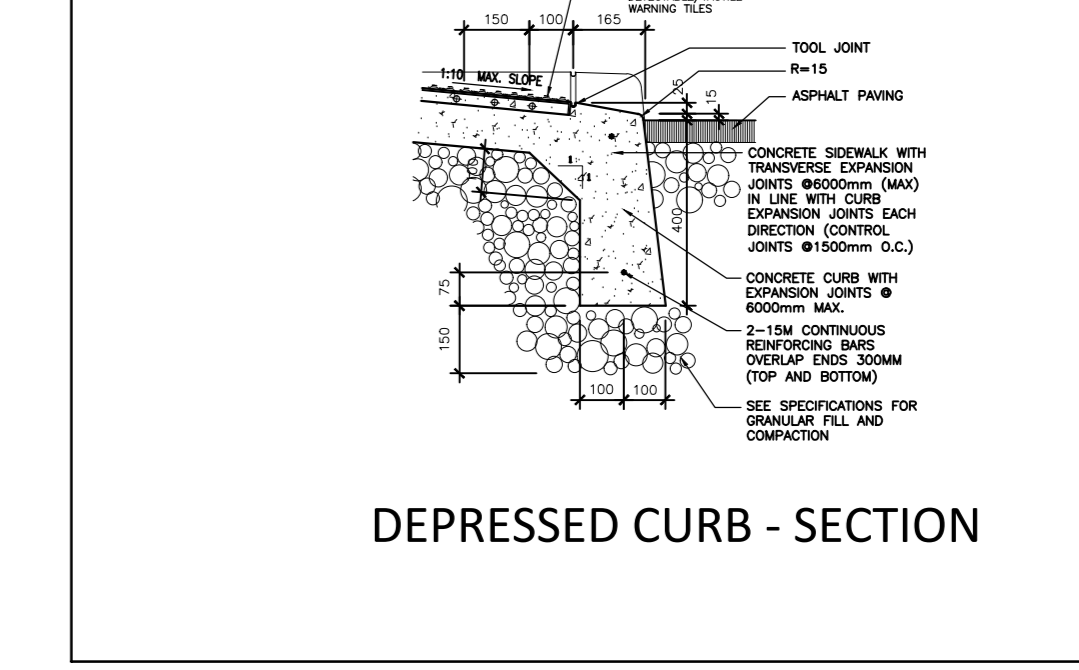
2 Signage Legend  
A101 SCALE: 1:10



3 Sign Post Details / Protection  
A101 SCALE: 1:10



DEPRESSED CURB - PLAN



DEPRESSED CURB - SECTION



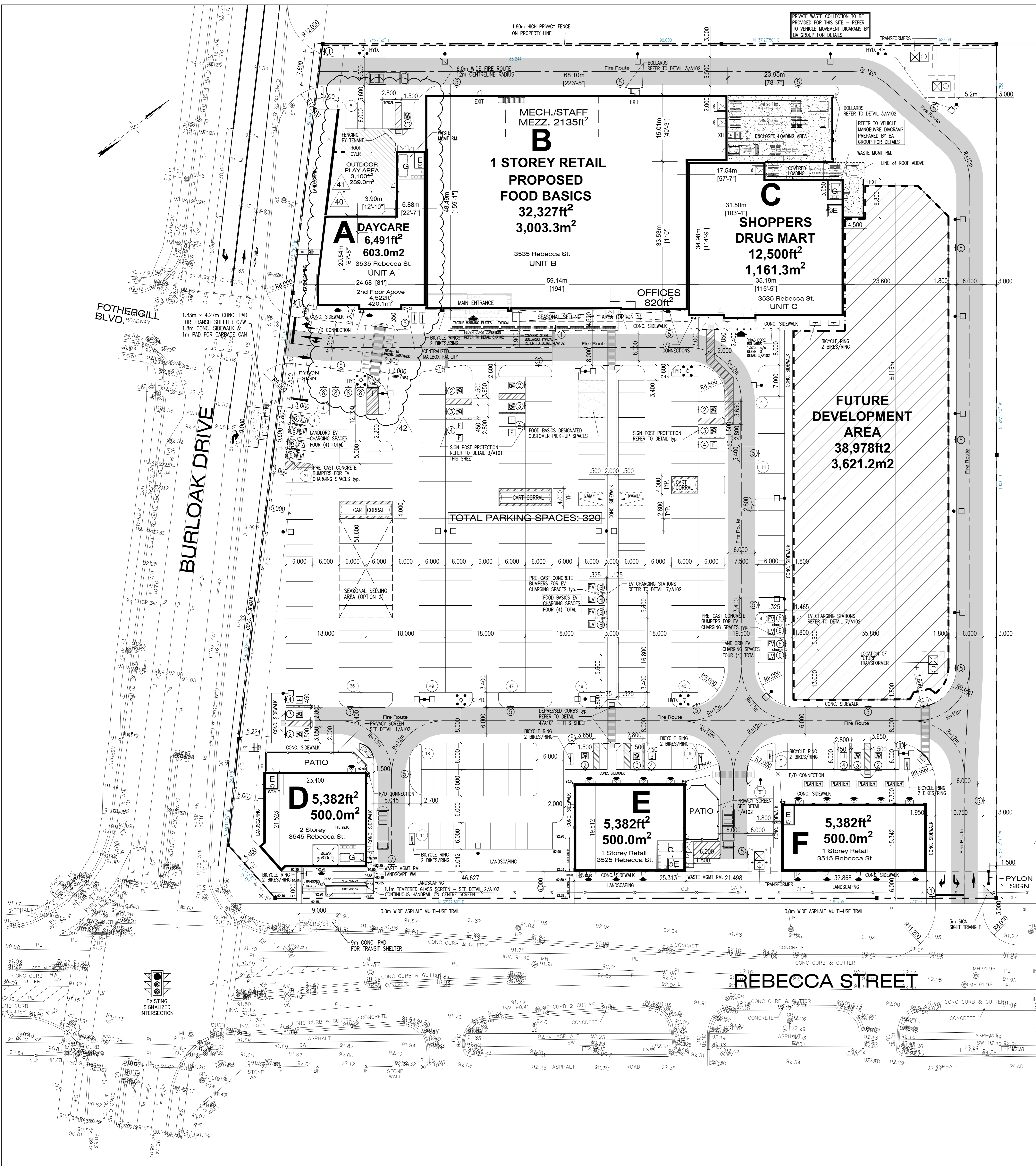
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**BURLOAK MARKET PLACE**  
FILE #1635.025/01

3515-3545 REBECCA STREET  
OAKVILLE ONTARIO

**SITE PLAN**

Drawn By: LR  
Checked By: HV  
Date Checked: Jun 12, 2024 - 3:02pm  
Project No: 18A142  
Scale: 1:300  
Revision No.: 42



1 Site Plan - Overall  
A101 SCALE: 1:300