

# BDP. Quadrangle

Quadrangle Architects Limited  
901 King Street West, Suite 701 Toronto, ON M5V 3H5  
t 416 598 1240 www.bdpquadrangle.com



## Oakville 4C

3065 Trafalgar Road  
Plan M1211 BLK7

for  
MC Oakville LP

Project No. 21014  
Date 2022-05-10  
Issued for SITE PLAN APPROVAL

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### STRUCTURAL ENGINEER

Jablonsky, Ast & Partners  
Consulting Engineers  
1129 Leslie Street, Don  
Mills, ON, M3C 2K5  
T 416-447-7405

### MECHANICAL & ELECTRICAL ENGINEER

Integral Group Inc.  
380 Wellington Street W.  
Toronto, ON, M5V 1E3  
T 416-488-4425

### URBAN DESIGN & LANDSCAPE ARCHITECT

NAK DESIGN  
STRATEGIES  
421 Roncesvalles Ave.  
Toronto, ON, M6R 2N1  
T 416-340-8700

### INTERIOR DESIGN

Figure 3  
200 University Avenue, Suite 200  
Toronto, ON M5H 3C6  
T 416-363-6993

### SITE SERVECING

UrbanTech  
3780 14th Avenue Suite 301  
Markham, ON L3R 3T7  
T 905 946 9461

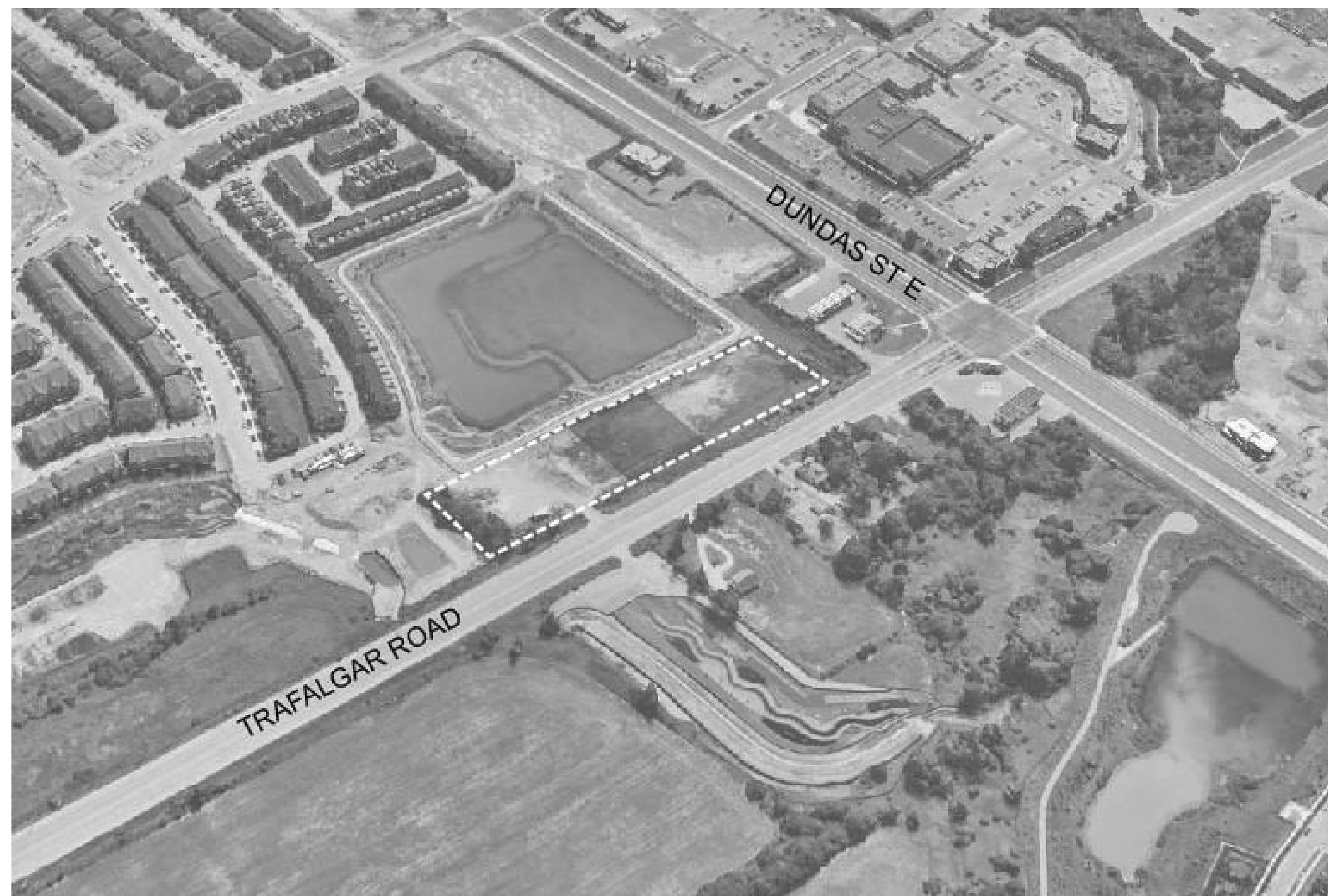
**BDP.  
Quadrangle**

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Ontario Building Code Data Matrix Part 3			
Item	Name of Practice	Address	OBC Reference
	Quadrangle Architects Limited	901 King Street West, Suite 701 Toronto, Ontario M5V 3H5 747.588.1240	All references are to Division B of the OBC unless preceded by (A) for Division A and (C) for Division C
3.01	Project Type: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use	3075 Trafalgar Road, Oakville, ON	1.1.2 (A)
3.02	Description: A newly (20) storey residential condominium buildings with a floor (4) levels of shared underground parking.		3.1.2.1 (1)
3.03	Major Occupancy (s) Classification	Group F-3 - UG Parking Garage	
3.04	Subsidiary Occupancy (s)	Group A2 - Assembly (Amenity, facilities for use by residents and their guests)	
3.05	Building Characteristics		1.4.1.2 (A)
	Building Area (m <sup>2</sup> ): Existing New Total	1,283.1 1,283.1	1.4.1.2 (A)
	Gross Area (m <sup>2</sup> ): Existing New Total	17,937.0 17,937.0	1.4.1.2 (A) & 3.2.1.1
	Building Height: Existing New	20 storey (s) 67.2m	3.2.2.10 & 3.2.5
	Storey above grade: 20 storey (s)		3.2.2.20 to 3.2.2.83
	Storey below grade: 4 storey (s)		
	Number of Streets: 1 street (s)		
3.06	Building Classification	3.2.2.42 Group C, Any Height, Any Area, Sprinklered	3.2.2.7
3.07	Superimposed Major Occ: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.2.7
3.08	High Building: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.6
3.09	Construction Type		3.2.2.20-83 & 3.2.1.4
3.10	Restriction: <input type="checkbox"/> Comb. permitted <input checked="" type="checkbox"/> Non-Combustible Required		3.2.2.20-83
3.11	Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination		3.2.1.5 & 3.2.2.17
3.12	Heavy Timber: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		3.2.1.5 & 3.2.2.17
3.13	Sprinkler System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required <input checked="" type="checkbox"/> Provided		3.2.1.5 & 3.2.2.17
3.14	Entire Building: <input type="checkbox"/> Compartments <input type="checkbox"/> Selected Floor Areas		3.2.2.20-83 & 3.2.1.4
3.15	Fire Containment (Horizontal and Vertical)		3.2.2.20-83 & 3.2.1.4
3.16	Floor Level/Area	Rating Design No. Supporting members Design No.	3.2.1.4 & 3.2.2.15
3.17	Floor over basement	2 hr	
3.18	Floors	2 hr	
3.19	Mezzanine	N/A	
3.20	Roof - Occupied	2 hr	
3.21	Roof - Unoccupied	N/R	
3.22	Building Envelope - Spatial Separation		3.2.3
3.23	Area of EBF (m <sup>2</sup> )	Limiting Distance (m) % LPO Permitted % LPO Actual Construction Requirements	
3.24	Occupant Load		3.1.17
3.25	Floor Level/Area	Occupancy Type Based On Occupant Load (persons)	
3.26	P4	Low Hazard Industrial Lockers 46m <sup>2</sup> / person 110	
3.27	P3	Low Hazard Industrial Lockers 46m <sup>2</sup> / person 121	
3.28	P2	Low Hazard Industrial Lockers 46m <sup>2</sup> / person 130	
3.29	P1	Low Hazard Industrial Lockers 46m <sup>2</sup> / person 135	
3.30	L01	Amenity 1,850m <sup>2</sup> / person 204	
3.31	L02	Residential 2/sleeping area 22	
3.32	L03	Residential 2/sleeping area 24	
3.33	L03-L06	Residential 2/sleeping area 176	
3.34	L07 - L09	Residential 2/sleeping area 60	
3.35	L04-L12	Residential 2/sleeping area 96	
3.36	L13-L16	Residential 2/sleeping area 96	
3.37	L17-L20	Residential 2/sleeping area 104	
3.38	MECHANICAL PENTHOUSE		0
3.39	TOTAL		1,155
3.40	Barrier-Free Design	Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.8
3.41	Equipment		
3.42	Early Warning System	Fire Alarm System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not-Required <input type="checkbox"/> Single Stage <input checked="" type="checkbox"/> Two Stage <input type="checkbox"/> None	3.2.4
3.43	Standpipe System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not-Required		3.2.5
3.44	Basement Access: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not-Required		3.2.5.2
3.45	Roof Access: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not-Required		3.2.5.3
3.46	Water Service Supply Adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7
3.47	Other		
3.48	Mezzanine ( - m <sup>2</sup> ): <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.1.1 (3)(8)
3.49	Interconnected FL: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6
3.50	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.1.1.2 & 3.1.19
3.51	Pre-incident building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		1.1.2.2 (2) (A)
3.52	Plumbing Fixture Requirements		3.7.4
3.53	Add Comment		
3.54	Date:		
3.55	Building Code Version	O Reg 332/12	
3.56	Last Amendment	O Reg 151/13	

ABBREVIATIONS SCALE: N/A			
AB	Air barrier	FN	Finish
AC	Air conditioner	FL	Floor
AD	Area drain	FLUOR	Fluorescent
AFF	Above finish floor	FP	Fireplace
AL	Aluminum	FR	Flush pull
AN	Anchored	FSR	Fire resistance rating
AO	Automatic door operator	FSI	Floor space index
AP	Acoustic panel	GA	Gauge
APC	Architectural precast concrete	CALV	Calvanized
APPROX	Approximate	GB	Gypsum board
AS	Acoustic seal	GFA	Gross floor area
AST	Astragal	GI	Ground fault interrupter
ASTM	American Society for Testing Materials	OK	Gasket
AT	Acoustic ceiling tile	GL	Glazing glass
AVB	Air vapor barrier	GLB	Glass block panel
AVG	Average	GLL	Glass - laminated
BF	Barrier free	GLT	Glass - tempered
BLDG	Building	GLS	Glass - safety
BR	Brick	GBL	Geobase
CACF	Central Alarm Control Facility	GWG	Georgian wire glass
CB	Cable tray	H	Height
CCMPA	Concrete Masonry Producers Association	HL	High lead
CCN	Contemplated change notice	HC	Hollow core
CG	Corner guard	HCC	Honey comb core
CH	Cast hole	HDF	High density fibreboard
CH	Clear inside dimension	HG	Hinge
CIP	Cast-in-place	HGCP	Hinge, centre pivot
CJ	Construction joint	HGPO	Hinge, offset pivot
CL	Closer	HM	Hollow metal
CLC	Closer, Concealed	HP	High point
CLG	Casting	HR	Half
CLR	Clear finish	HSS	Hollow steel section
CLT	Closet	HTP	Heat pump
CMU	Concrete masonry unit	ID	Interior design
COL	Column	IP	Insulation impregnating
CONC	Concrete	INSUL	Insulated, insulation
CP	Communications panel	INT	Interior
CPT	Capit	JAN	Janitor
CR	Card reader	KP	Kick plate
CSA	Canadian Standards Association	L	Length/long
CT	Cosmetic tile	LA	Lath
CW	Complete with	LAV	Lavatory
CYL	Cylinder	LN	Linen closet/shelves
D	Depth/Deep	LN	Linoleum
DB	Dead bolt	LP	Low point
DC	Door contact	LS	Lock set
DA, ø	Diameter	LV	Louvre
DM	Dimension	MAG	Magnetic lock
DN	Down	MAX	Maximum
DP	Door pull	MDF	Medium density fibreboard
DPR	Door pull - recessed	MECH	Mechanical
DSO	Door stop - door mounted	MFR	Manufacturer
DSF	Door stop - floor mounted	MIN	Minimum
DSO	Door stop - overhead recessed	MISC	Miscellaneous
DSW	Door stop - wall mounted	MLL	Milwork
DW	Dishwasher	MIR	Mirror
DWG	Drawing	MO	Masonry opening
ED	Exit device	MP	Metal panel
EFPS	Exterior insulating finish system	MRCB	Moisture resistant gypsum board
EJ	Expansion joint	MTL	Metal
ELEC	Electrical	MW	Microwave
ELEV	Elevator	(N)	New
EDS	Edge of slab	N/A	Not applicable
EP	Electrical panel	NBC	National Building Code
ESP	Escutcheon plate	NIC	Not in contract
EQ	Equal	NIS	Not to scale
EQUP	Equipment	OBC	Ontario Building Code
ES	Electric strike	OC	On centre
(E)	Existing	OP	Operable panel
(ER)	Existing/relocated	OSB	Oriented strand board
EXT	Exterior	PB	Push button
FAP	Fire alarm pull	PCT	Porcelain tile
FC	Fan coil	PERF	Perforated
FD	Floor drain	W/C	Walk-in closet
FFH	Fire fighter's elevator	PLY	PLYwood
FFL	Fire fighter's handset	PNL	Panel
FFL	Finished floor level	PP	Push plates
FG	Fixed glazing	PQ	Parquet flooring
FH	Fire hydrant	PS	Passage set
FHC	Fire hose cabinet	PT	Paint, painted
		PVC	Polyvinyl chloride
		(R)	Recessed
		R	Radius
		RB	Resilient base
		RC	Roller catch
		RD	Roof drain
		REF	Reference
		REV	Revision
		RF	Recessed flooring
		RFM	Recessed floor mat
		RH	Ranghpod
		RM	Room
		RO	Rough opening
		RR	Remote release
		RVL	Rain water leader
		SAFB	Sound attenuation fire blankets
		SB	Site bulletin
		SBO	Supplied by others, contractor installed
		SC	Solid core
		SD	Scoopier drain
		SI	Site instruction
		SL	Skim coat
		SP	Spandrel panel
		SPT	Spray texture
		SS	Stainless steel
		STD	Standard, stain
		STL	Steel
		STRUC	Structural
		T	Tile
		TB	Tack board
		TBD	To be determined
		TC	Traffic coating
		TD	Terrace drain
		TEL	Telephone
		TEMP	Temporary
		TER	Terrazzo
		TERR	Terrace
		TH	Threshold
		THK	Thick
		TOC	Top of curb
		TOP	Top of finish
		TQFR	Top of finished roof
		TOG	Top of grade
		TOP	Top of parapet
		TOS	Top of structural
		TOW	Top of wall
		TRR	Temperature rise rating
		TT	Thumb turn
		TYP	Typical
		UH	Unit heater
		UR	Urinal
		UIS	Underside
		ULC	Underwriter's Laboratories of Canada
		UNC	Unless noted otherwise
		VB	Vapor barrier
		VCT	Vinyl composite tile
		VEST	Vestibule
		VFI	Vinyl-faced insulation
		VG	Vinyl graphic
		VNR	Veneer
		VP	Visitor's parking
		W	Width
		WB	White board
		WC	Water closet
		WCV	Wall covering
		WD	Wood
		W/D	Washer/Dryer
		W/C	Walk-in closet
		WPS	Waterproof surface
		WR	Waste receptacle
		WS	Weatherstripping
		WT	Window treatment

1  
A101.S  
OBC MATRIX - Tower 4C  
SCALE: 1:500



KEY PLAN

PROJECT STATISTICS SUMMARY																			
Cathulize Phase 4C																			
Lot Area (Block # Total - used to calculate FSI) (m <sup>2</sup> )		3,152		3,152.50															
Zoning Bylaw 2009-189 TUC Block #		1		1															
Established Grade: (m)		179.6		179.6															
By Law 2009-189		179.6		179.6															
Building Height (Storeys): (incl. Mech Penthouse)		20		20															
Building Height above Average Grade (Meters): (incl. Mech Penthouse)		67.20		67.20															
SFA - Residential Uses (Above Grade)		16,788.12		16,788.12															
SFA - Non Residential Uses (Above Grade)		15,276.12		15,276.12															
GSA (Above Grade)		31,064.24		31,064.24															
Floor Space Index (FSI)		1.28		1.28															
Number of Residential Suites		239		239															
Vehicle Parking Total Required		263		263															
Vehicle Parking Total Provided		263		263															
Bicycle Parking Total Required		200		200															
Bicycle Parking Total Provided		200		200															
Total Loading Spaces Required		1		1															
Total Loading Spaces Provided		1		1															
Total GBA including below grade		27,471		295,700															
Total GBA above grade only		17,897		183,072															
						0.0%		36.0%		43.1%		14.2%		6.7%		0.0%		100.0%	

STATS SUMMARY

Category	Required	Provided
Residential - Occupant	1.0 x 239	239
Visitor (Short Term)	0.1 x 239	24
Visitor (Long Term)	0.1 x 239	24
TOTAL	298	287

BUILDING STATISTICS

Category	Required	Provided
Residential - Occupant	149	149
Visitor (Short Term)	51	51
TOTAL	200	200

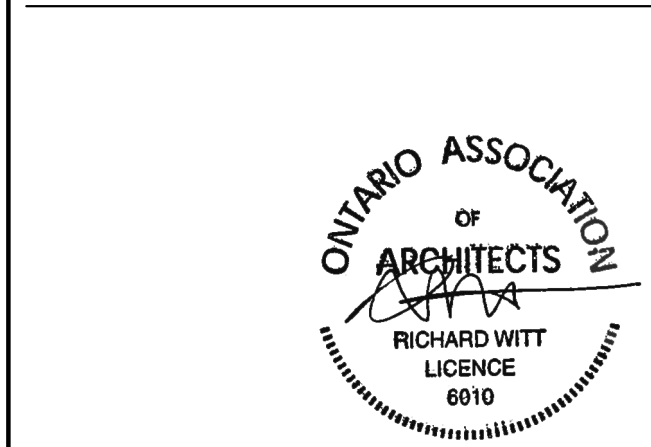
PARKING STATS

Category	Residential	Visitor	Non-Residential	TOTAL
Required	263	200	0	463
Provided	263	200	0	463

REVISION RECORD

Date	No.	Description
2022-05-10		ISSUED FOR SITE PLAN APPROVAL
2021-11-19		ISSUED FOR SITE PLAN APPROVAL

ISSUE RECORD



BDP. Quadrangle

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Oakville 4C  
3065 Trafalgar Road  
Plan M1211 BLK7  
to MC Oakville LP

21014 As indicated KT JS  
PROJECT SCALE DRAWN REVIEWED

Context Plan and Statistics

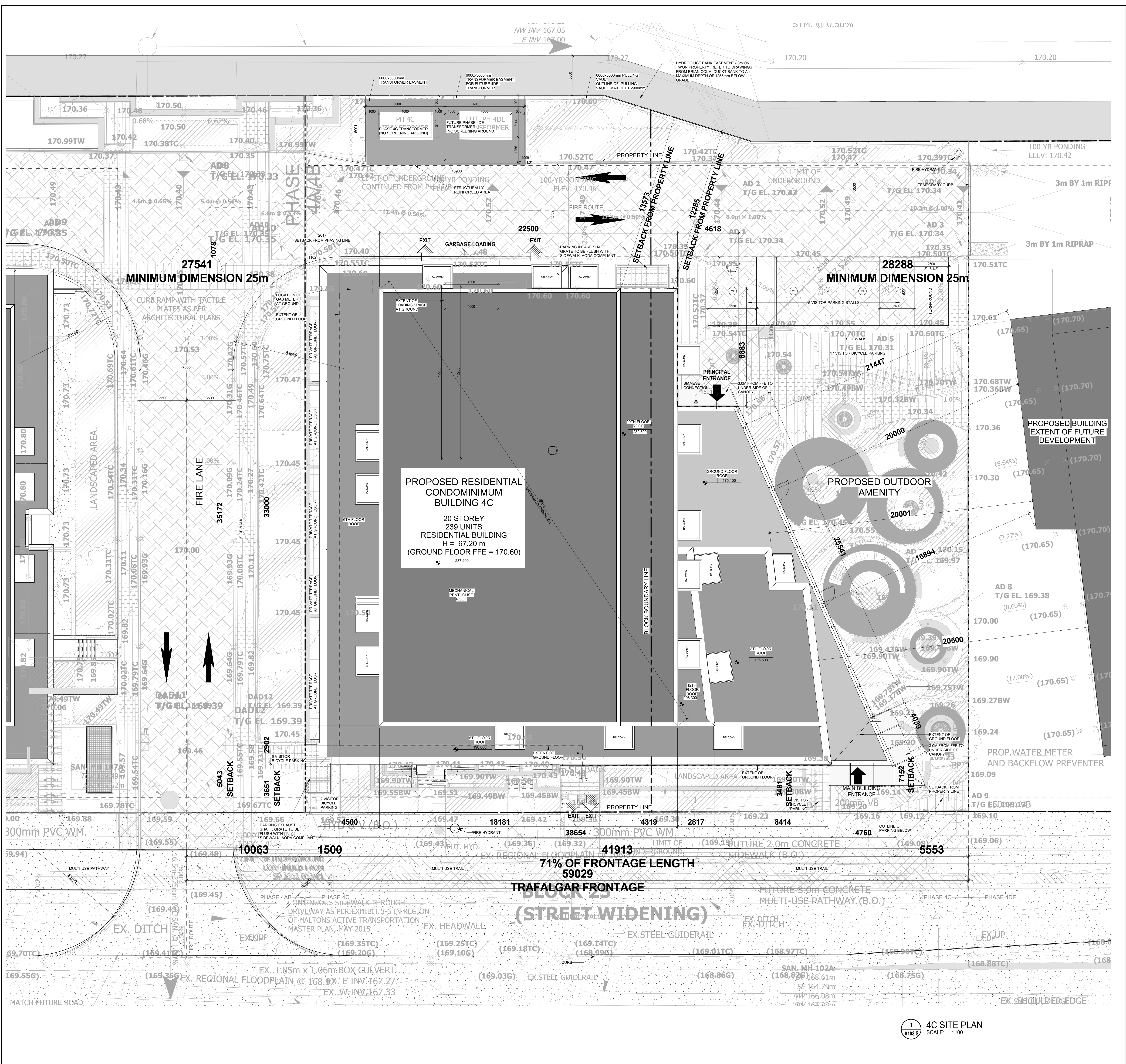
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**SITE PLAN LEGEND**

- PROPERTY LINE
- LINE OF UNDER GROUND GARAGE BELOW
- MAIN BUILDING ENTRANCE
- RETAIL ENTRANCE
- EXIT
- VEHICLE/LOADING ENTRANCE/EXIT
- FIRE HYDRANT
- SIAMSE CONNECTION
- MANHOLE COVER
- AREA DRAIN
- CATCH BASIN
- EXISTING LIGHT
- TYPICAL OAKVILLE PARKING SPACE
- TYPICAL OAKVILLE BARRIER FREE PARKING SPACES
- FINISH FLOOR ELEVATION
- EXISTING ELEVATION
- PROPOSED ELEVATION
- TOP OF ROOF
- BUILDING ENVELOPE
- FIRE ACCESS ROUTE HEAVY DUTY PARKING ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT
- DEVELOPMENT NOT PART OF THIS APPLICATION

**LEGEND**

- CONCRETE CURB, TYPICAL
- CONCRETE CURB, 150mm
- CONCRETE CURB, 300mm
- CONCRETE CURB, 450mm
- CONCRETE CURB, 600mm
- CONCRETE CURB, 750mm
- CONCRETE CURB, 900mm
- CONCRETE CURB, 1050mm
- CONCRETE CURB, 1200mm
- CONCRETE CURB, 1350mm
- CONCRETE CURB, 1500mm
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- CONCRETE CURB, 1800mm
- CONCRETE CURB, 1950mm
- CONCRETE CURB, 2100mm
- CONCRETE CURB, 2250mm
- CONCRETE CURB, 2400mm
- CONCRETE CURB, 2550mm
- CONCRETE CURB, 2700mm
- CONCRETE CURB, 2850mm
- CONCRETE CURB, 3000mm
- CONCRETE CURB, 3150mm
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- CONCRETE CURB, 4950mm
- CONCRETE CURB, 5100mm
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- CONCRETE CURB, 25350mm
- CONCRETE CURB, 25500mm
- CONCRETE CURB, 25650mm
- CONCRETE CURB, 25800mm
- CONCRETE CURB, 25950mm
- CONCRETE CURB, 26100mm
- CONCRETE CURB, 26250mm
- CONCRETE CURB, 26400mm
- CONCRETE CURB, 26550mm
- CONCRETE CURB, 26700mm
- CONCRETE CURB, 26850mm
- CONCRETE CURB, 27000mm
- CONCRETE CURB, 27150mm
- CONCRETE CURB, 27300mm
- CONCRETE CURB, 27450mm
- CONCRETE CURB, 27600mm
- CONCRETE CURB, 27750mm
- CONCRETE CURB, 27900mm
- CONCRETE CURB, 28050mm
- CONCRETE CURB, 28200mm
- CONCRETE CURB, 28350mm
- CONCRETE CURB, 28500mm
- CONCRETE CURB, 28650mm
- CONCRETE CURB, 28800mm
- CONCRETE CURB, 28950mm
- CONCRETE CURB, 29100mm
- CONCRETE CURB, 29250mm
- CONCRETE CURB, 29400mm
- CONCRETE CURB, 29550mm
- CONCRETE CURB, 29700mm
- CONCRETE CURB, 29850mm
- CONCRETE CURB, 30000mm

**NOTES**

1. ALL ROAD AND SIDEWALK SURFACES SHALL HAVE A MINIMUM SLOPE OF 2%.
2. THE MAXIMUM SLOPE ALLOWED ON ANY SIDEWALK SURFACE, FRONT AND REAR SHALL BE 3%.
3. BOLLARDS SHALL BE 100mm DIA. AND 1.2m HIGH WITH A MASS OF 100kg.
4. THERE SHALL BE A 50mm RISE IN THE CURB FROM THE PAVEMENT TO THE SIDEWALK.
5. ALL UNITS ARE TO BE EQUIPPED WITH PRESSURIZED BACKFLOW VALVES.
6. ALL UNITS ARE TO BE EQUIPPED WITH PRESSURIZED BACKFLOW VALVES.
7. TO BE INSTALLED AND MAINTAINED AS PER THE MANUFACTURER'S INSTRUCTIONS.
8. ALL UNITS ARE TO BE EQUIPPED WITH PRESSURIZED BACKFLOW VALVES.
9. TO BE INSTALLED AND MAINTAINED AS PER THE MANUFACTURER'S INSTRUCTIONS.
10. TO BE INSTALLED AND MAINTAINED AS PER THE MANUFACTURER'S INSTRUCTIONS.

**BENCHMARK NOTE:**  
 BENCHMARK DATA HAS BEEN OBTAINED FROM THE TOWN OF OAKVILLE BENCHMARK DATA AND IS REFERRED TO AS BENCHMARK DATA. THE BENCHMARK DATA IS THE PROPERTY OF THE TOWN OF OAKVILLE AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

**REVISION RECORD**

NO.	DATE	DESCRIPTION
1	2021-05-10	ISSUED FOR SITE PLAN APPROVAL
2	2021-11-19	ISSUED FOR SITE PLAN APPROVAL

**SURVEY LEGEND AND NOTES**

**TRAFALGAR FRONTAGE**

AS PER PART 8 SPECIAL PROVISIONS - SECTION 8.65.1(J) OF THE TOWN OF OAKVILLE BY-LAW NUMBER 2018-151.

A MINIMUM OF 70% OF THE FRONT LOT LINE LENGTH AND FLANKAGE LOT LINE LENGTH MUST BE OCCUPIED BY A BUILDING(S) WITHIN THE AREA DEFINED BY THE MINIMUM AND MAXIMUM FRONT AND FLANKAGE YARD, INCLUSIVE OF PROJECTIONS AND INDENTATIONS, AND EXCLUDING DAYLIGHT TRIANGLES.

FRONTAGE REQUIRED	= 59.02 m
FRONTAGE PROVIDED	= 41.31 m (70%)
	= 41.91 m (71%)

Date: 2022-05-10  
 No.: 103.S  
 Description: 4C SITE PLAN

REVISION RECORD

NO.	DATE	DESCRIPTION
1	2021-05-10	ISSUED FOR SITE PLAN APPROVAL
2	2021-11-19	ISSUED FOR SITE PLAN APPROVAL



**BDP. Quadrangle**

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Oakville 4C  
 3065 Trafalgar Road  
 Plan M1211 BLK7  
 to MC Oakville LP

21014 As indicated  
 PROJECT SCALE: 1:100  
 DRAWN: JS  
 REVIEWED: JS

Site Plan

**A103.S**

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