

- EXIST. GRADE
- PROPOSED GRADE
- MAIN ENTRANCE
- EXIT
- SERVICE ENTRANCE
- BARRIER FREE PARKING
- EXIST. BARRIER FREE PARKING SIGN
- BOLLARD
- LIGHT STANDARD
- EXISTING LIGHT STANDARD
- LIGHT STANDARD TO BE RELOCATED
- RELOCATED LIGHT STANDARD
- EXIST. FENCE
- NEW FENCE
- EXIST. FIRE HYDRANT
- NEW FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- FIRE ROUTE/NO PARKING SIGN
- CATCH BASIN
- MANHOLE
- CATCH BASIN/MANHOLE
- EXIST. SANITARY SEWER
- NEW SANITARY SEWER
- EXIST. STORM SEWER
- NEW STORM SEWER
- EXIST. GAS LINE
- EXIST. UNDERGROUND HYDRO
- EXIST. WATER SERVICE
- NEW WATER SERVICE
- EXIST. TELEPHONE LINE
- EXIST. TV CABLE
- EXIST. FIBRE OPTIC CABLE
- SOFT LANDSCAPE AREA
- EXIST. CONIFEROUS TREE/SHRUB TO BE RETAINED
- EXIST. DECIDUOUS TREE/SHRUB TO BE RETAINED

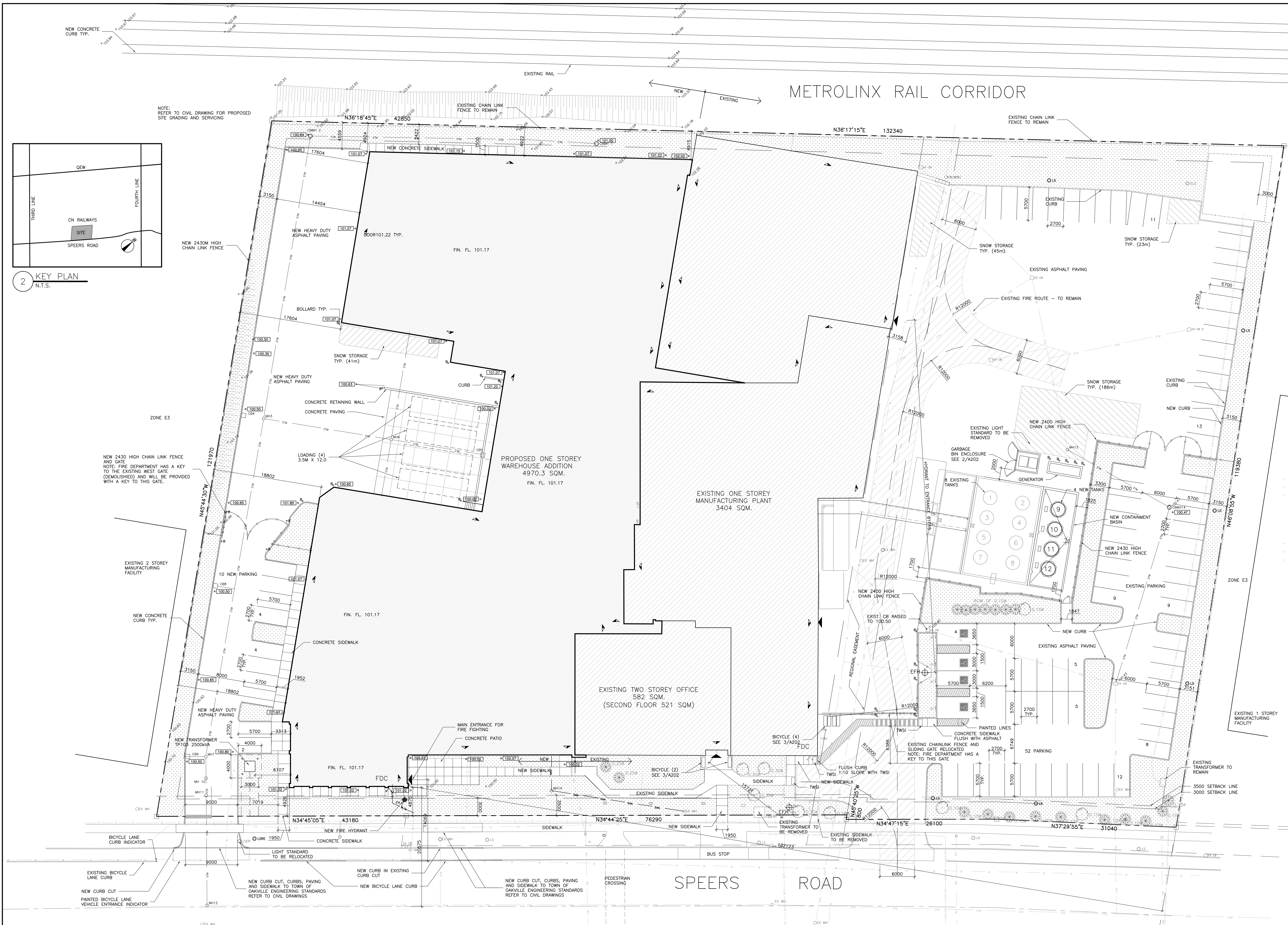
**NOTES:**

- TWSI - CONFORM TO CSA 8651, 600 X 1800 SET 150 BACK FROM ASPHALT
- ALL LIGHTING DEVICES SHALL BE FULL CUT OFF AND NIGHT SKY FRIENDLY TO MITIGATE ILLUMINATION AT THE SOURCE AND NOT DIRECTLY PROJECTED ONTO ADJACENT PROPERTIES. ILLUMINATION LEVELS AT THE PROPERTY LINE SHALL NOT EXCEED 0.0 LUX
- BARRIER FREE PARKING SIGN - CONFORM TO TOWN OF OAKVILLE DESIGNATED SIGN GUIDELINES FOR SIGN REQUIREMENTS.
- BUILDING ADDITION IS SPRINKLERED AND NON-COMBUSTIBLE CONSTRUCTION.

**PART OF LOT 23**  
**CONCESSION 3**  
 (GEOGRAPHIC TOWNSHIP OF TRAFALGAR)  
**TOWN OF OAKVILLE**  
 REGIONAL MUNICIPALITY OF HALTON  
 SURVEY INFORMATION TAKEN FROM DRAWINGS  
 PREPARED BY:  
 CUNNINGHAM MCCONNELL LIMITED O.L.S.  
 DATED MAY 2, 2023

The contractor shall check all dimensions and other data from the job and report any discrepancies to the architect before proceeding. Do not scale drawing.

NO.	REVISIONS	DATE
1	SPA PRECONSULTATION	2023-06-20
2	SPA PRECONSULTATION - 2	2024-06-12
3	SPA APPLICATION	2024-09-30



**2 KEY PLAN**  
N.T.S.

**1 SITE PLAN**  
1:250

**SITE STATISTICS**

**APPROXIMATE COVERAGE CALCULATION**

LOT AREA 2.08 HECTARES	= 20,855.2 S.M.
LOT FRONTAGE	= 176.61 M
LOT DEPTH	= 119.53 M
EXISTING BUILDING AREA	= 5,563.6 S.M.
LESS BUILDING DEMOLITION	= 1,577.5
NET BUILDING AREA EXISTING	= 3,986.1
PROPOSED ADDITION - GRD.FL.	= 4,970.3 S.M.
NET TOTAL BUILDING AREA	= 8,956.4 S.M.
	= 43% LOT COVERAGE

**APPROXIMATE GFA CALCULATION**

EXISTING WAREHOUSE TO REMAIN	= 3,986.1 S.M.
PROPOSED ADDITION - GRD FL.	= 4,970.3 S.M.
PROPOSED MEZZANINE	= 109.0 S.M.
EXISTING OFFICE 2ND FLOOR	= 508 S.M.
EXISTING 2ND FLOOR INFILL	= 13 S.M.
TOTAL GFA	= 9,586.4 S.M.

GFA/LOT AREA RATIO = 46%

**BUILDING HEIGHT:**

EXIST. OFFICE BLDG.	EXIST. (TOP OF PARAPET)
EXIST. MANUFACTURING BLDG.	8.4 M
EXIST. WAREHOUSE BLDG.	8.4 M
PROPOSED ADDITION	12 M (TOP OF FIREWALL)

**PARKING CALCULATION:**

PARKING FOR E3 ZONE

OFFICE GFA ±1102 S.M. = 11.6% OF TOTAL GFA

TOTAL GFA = 9,586.4 S.M.

7500 S.M. / 17,100 = 75 SPACES

2086.4 S.M. / 200 = 11 SPACES

TOTAL PARKING REQUIRED = 86 SPACES

TOTAL PARKING PROVIDED = 86 SPACES

**BARRIER FREE SPACES REQUIRED**

4% OF 86 = 4

BF SPACES PROVIDED = 4

BF SPACE SIZE TYPE A 3.6 + 1.5 AISLE X 5.7 AND BF SPACE SIZE TYPE B 2.7 X 5.7

PARKING SPACE MINIMUM SIZE = 2.7 X 5.7M

PARALLEL 2.7 X 7.0

AISSLE WIDTH MINIMUM 6.0M

BICYCLE PARKING REQUIRED 2 PLUS 0.25/1000 = 5 PROVIDED: 6

**LANDSCAPE AREA**

AREA OF SOFT LANDSCAPE = ±2890 S.M. 13.8%

**PAVED AREA**

AREA OF PAVEMENT (EAST) = 5,488 S.M.

SNOW STORAGE REQ'D? (EAST) = 823 S.M.

SNOW STORAGE PROVIDED 254 S.M.

EXCESS TO BE TRUCKED OFF SITE

AREA OF PAVEMENT (WEST) = 2,326 S.M.

SNOW STORAGE REQ'D? (WEST) = 349 S.M.

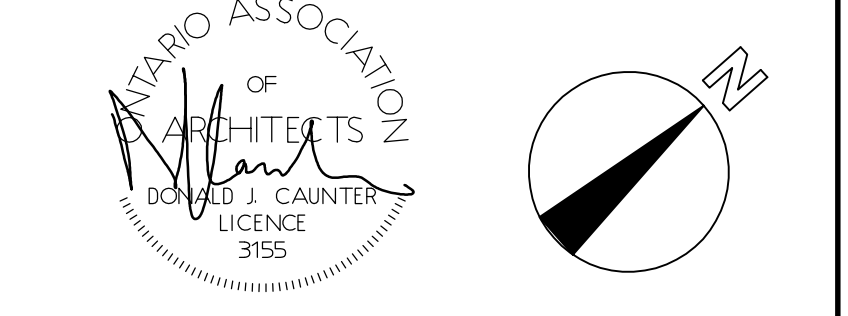
SNOW STORAGE PROVIDED 41 S.M.

EXCESS TO BE TRUCKED OFF SITE

Project Manager  
**Trumbley Hampton Design Build Inc.**  
 5845 Sixth Line RR 1, Guelph-Eramosa, Ontario N0B 2K0

**SITE PLAN**

Project Title  
**CLOVERDALE PAINT**  
**EXPANSION PROPOSAL**  
 1257 / 1281 SPEERS ROAD OAKVILLE ONTARIO



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Approved	DC	Checked	DC	Drawn By	DC
Scale	1:250	Date	2023-06-01	File No.	116922
Drawing Number	A-101		Revision Number		