

- LEGEND
- property line
 - existing tree number (refer to chart)
 - existing vegetation to remain
 - minimum tree preservation zone
 - existing vegetation to be removed
 - tree protection fence
 - existing neighbouring fence to be removed and replaced

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

NOTE:
Vegetation inventory undertaken by Jeremy Jackson, ISA Certified Arborist (ON-1089A) on February 21, 2022 and September 7th, 2023.

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission
6	2024-03-22	Issued for 6th Submission
7	2024-08-14	Issued for 7th Submission
8	2024-11-22	Issued for 8th Submission



CLIENT
Graywood Bronte Village
Limited Partnership

MUNICIPALITY
Town of Oakville

PROJECT
2375 Lakeshore Road West

MUNICIPAL FILE NUMBER
OPA. 1729.61 and Z.1729.61

SHEET
Tree Protection Plan L-1

adesso design inc.
landscape architecture

69 John Street South, Suite 250
Hamilton, ON L8N 2B9
1.905.526.8876
www.adessodesigninc.ca



Tree 1-2



Tree 3-5



Tree 4-8



Trees 6-14



Trees 6-23



Trees 16-23



Trees 24-27

Project: 21-230, 2024-11-22, 1:11 PM, P:\Projects\21-230\21-230-000\21-230-000-000.dwg, Plot Date: 2024-11-22, 1:11 PM, PLOT: 21-230-000-000-000.dwg, Plot Size: 2400x3600, Plot Scale: 1:1, Plot Orientation: Landscape, Plot Title: Tree Protection Plan, Plot Sheet: L-1

EXISTING VEGETATION IDENTIFICATION TABLE

Table with columns: Tree #, Common Name, Scientific Name, DBH, TI, CS, CV, CC, mTPZ, Location, Comments, Potential Impact from Construction, and Recom. Lists 44 tree entries.

Table Legend with columns: Symbol, Description, and Example (EAB, Emerald Ash Borer). Includes entries for DBH, TI, CS, CV, DL, mTPZ, and Recom.

MIGRATORY BIRDS AND NESTS:

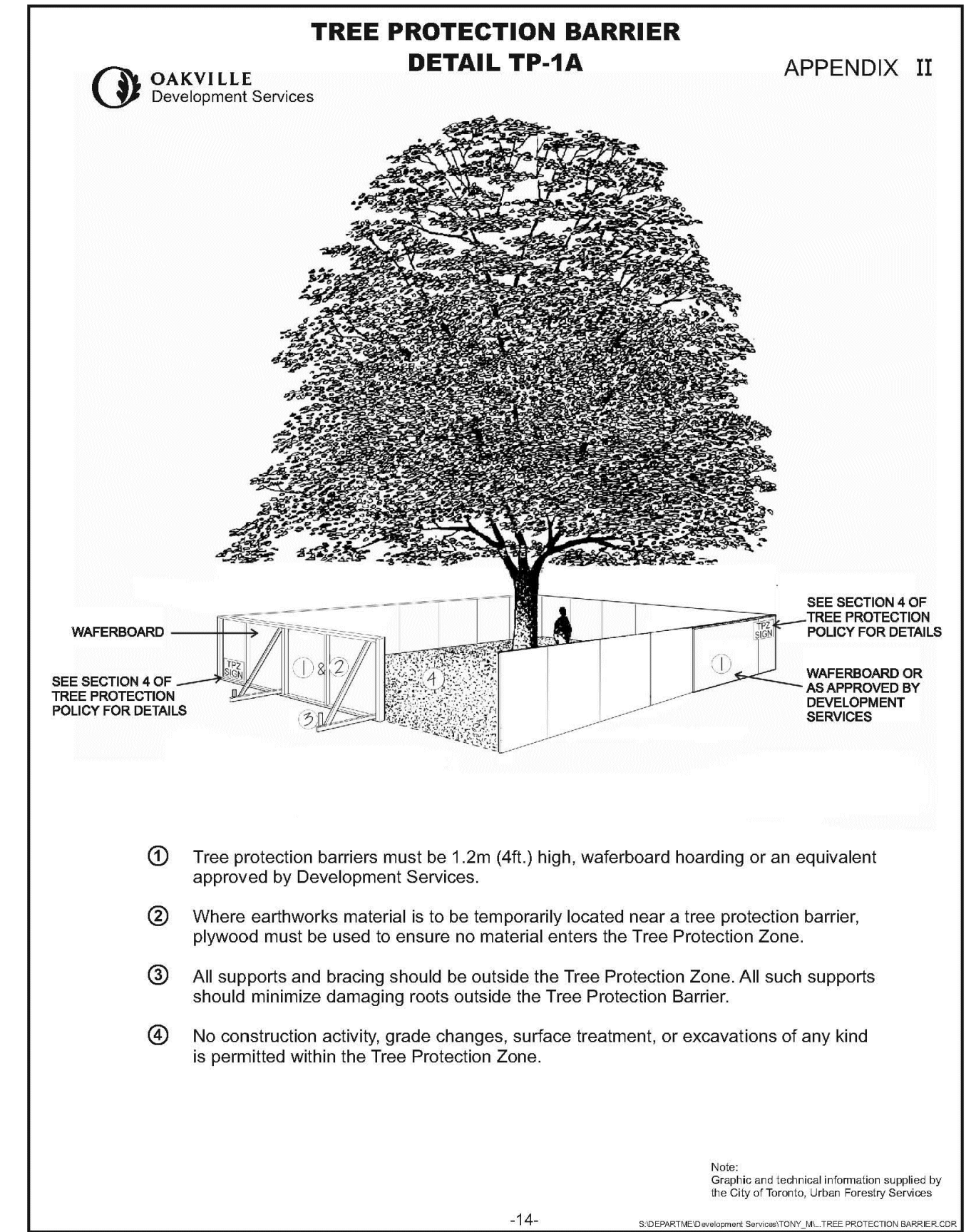
- 1. The Owner and Contractor must be aware of the Migratory Birds Convention Act, 1994 - specifically:
- No tree removal or construction activity shall contravene the Act.
- Construction activities with the potential to harm migratory birds or their nest should be restricted from March 15 to August 31.
- If work must occur during the migratory bird breeding season, a nest survey should be taken by a qualified avian biologist.
- A mitigation plan (showing active nests and appropriate buffers) may be required for review and approval by the Canadian Wildlife Services.

CONDITION OF TREES
The decision to remove or retain a tree is subject to the forecasted development impacts, the structural condition of the tree (e.g. cracks, cavities, decay, weak branching, leaning, hazard potential), the biological condition of the tree (e.g. pest or disease concerns, overall health) and the suitability of the tree in its location (e.g. hardness, soil conditions, soil tolerance, visual obstruction, available soil volume).

LOSS OF EXISTING CANOPY CHART

Table with columns: Tree#, # of trees, species of trees removed, Loss of Canopy Area (m2). Lists various trees and their removal details.

TOTAL LOSS OF EXISTING CANOPY: 440.48m²
SEVERAL TREES PROPOSED FOR REMOVAL HAVE OVERLAPPING CANOPIES. OVERLAPPING CANOPIES AREAS HAVE NOT BEEN COUNTED TWICE AS PER TOWN OF OAKVILLE CANOPY COVER PLAN GUIDELINES



Town of Oakville Tree Protection Fencing

SCALE: 1/8" = 1'-0"

1 / L-2

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

Table with columns: #, DATE, DESCRIPTION. Lists revision dates and descriptions from 1 to 8.

STAMP



CLIENT: Graywood Bronte Village Limited Partnership
MUNICIPALITY: Town of Oakville
PROJECT: 2375 Lakeshore Road West

MUNICIPAL FILE NUMBER: OPA. 1729.61 and Z.1729.61

SHEET: Tree Protection Chart & Details

L-2

adesso design inc. landscape architecture



69 John Street South, Suite 250
Hamilton, ON L8N 2B9
t. 905.526.8876
www.adessodesigninc.ca



Trees 28-29



Trees 30-33



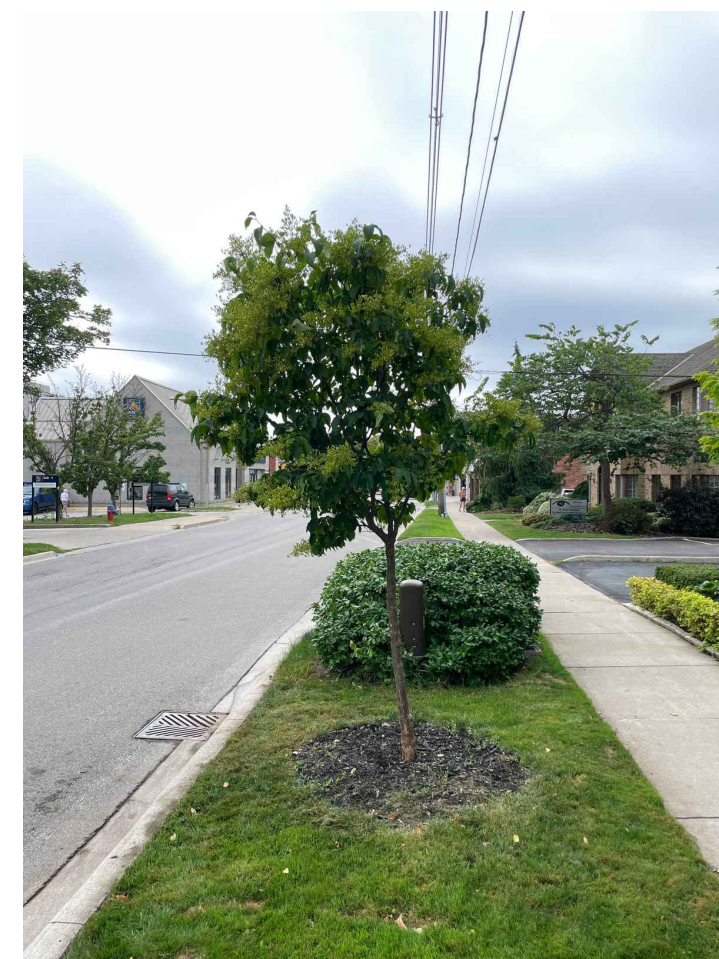
Trees 35



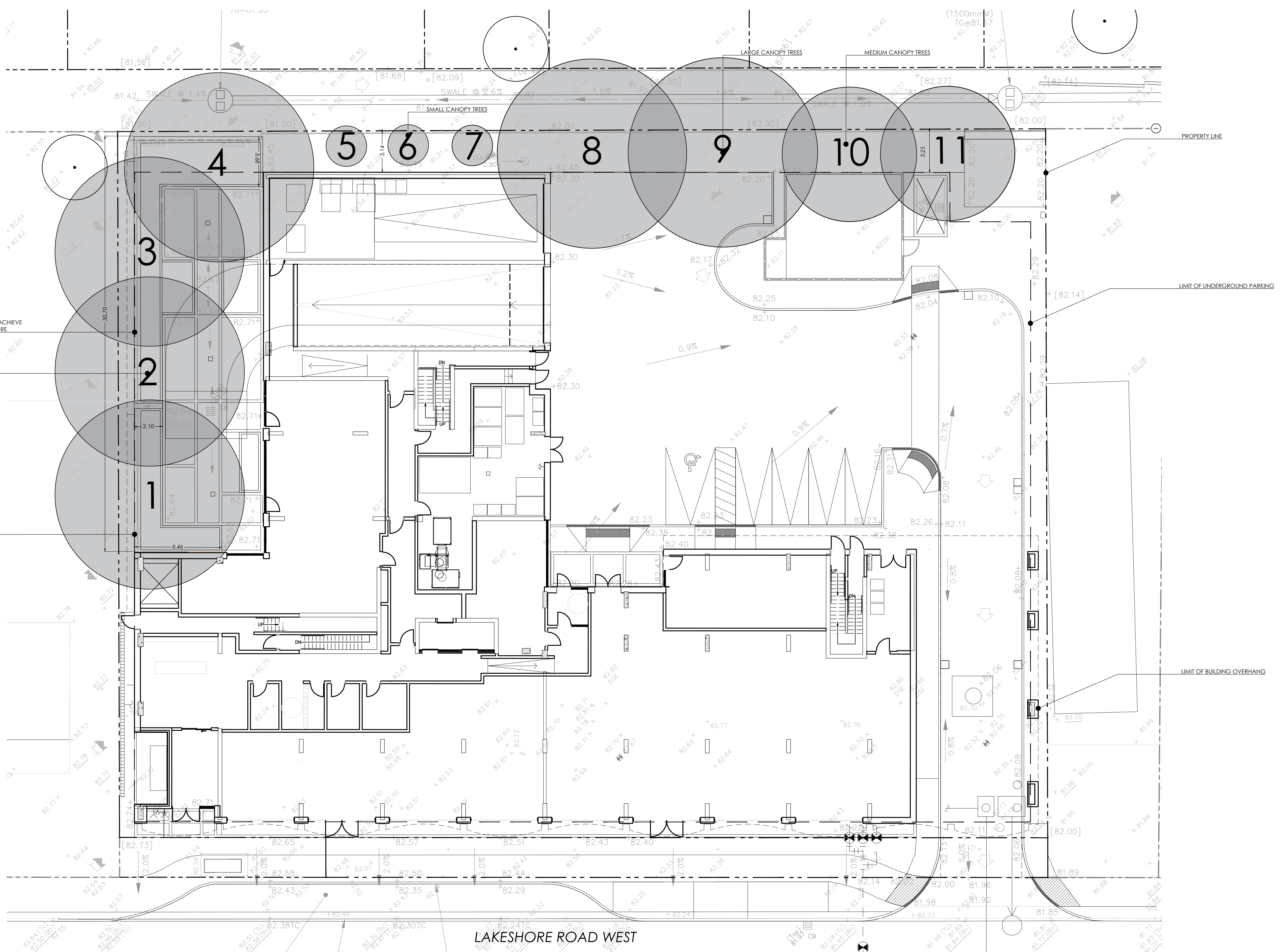
Trees 38-42



Trees 43



Trees 44



- LEGEND**
- property line
 - existing vegetation to remain
 - proposed tree canopy coverage
 - existing elevations
 - proposed elevations

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission
6	2024-03-22	Issued for 6th Submission
7	2024-08-14	Issued for 7th Submission
8	2024-11-22	Issued for 8th Submission



CLIENT
Graywood Bronte Village Limited Partnership

MUNICIPALITY
Town of Oakville

PROJECT
2375 Lakeshore Road West

MUNICIPAL FILE NUMBER
OPA. 1729.61 and Z.1729.61

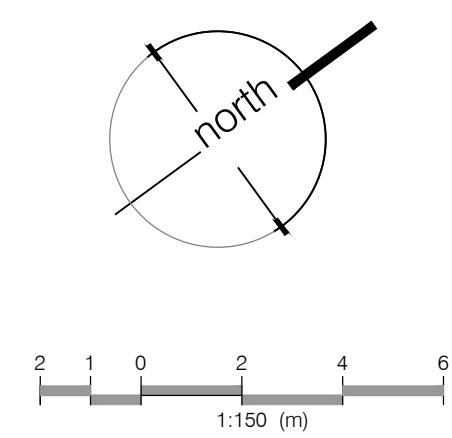
SHEET
Canopy Coverage Plan **L-3**

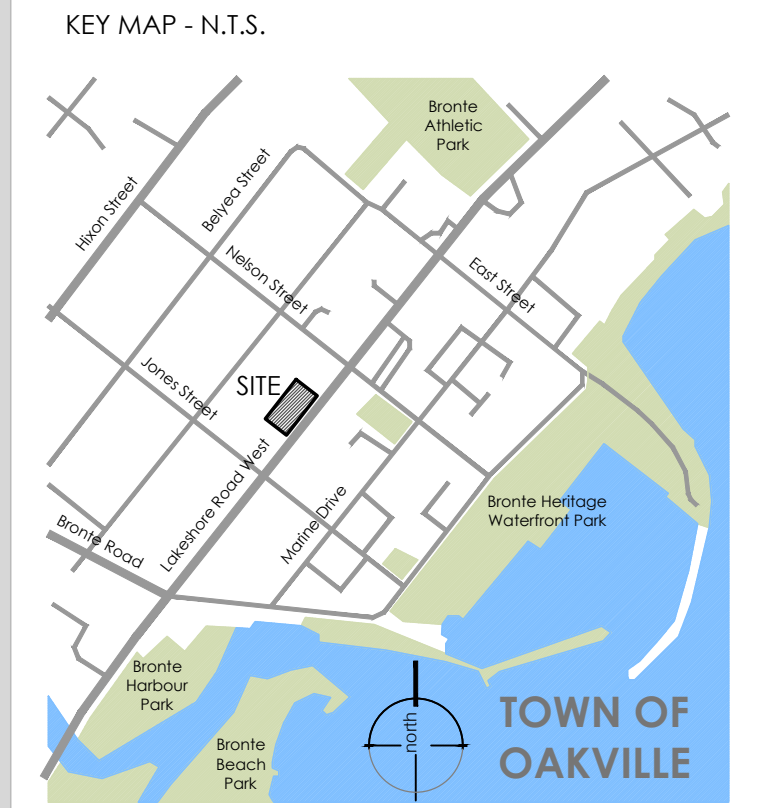
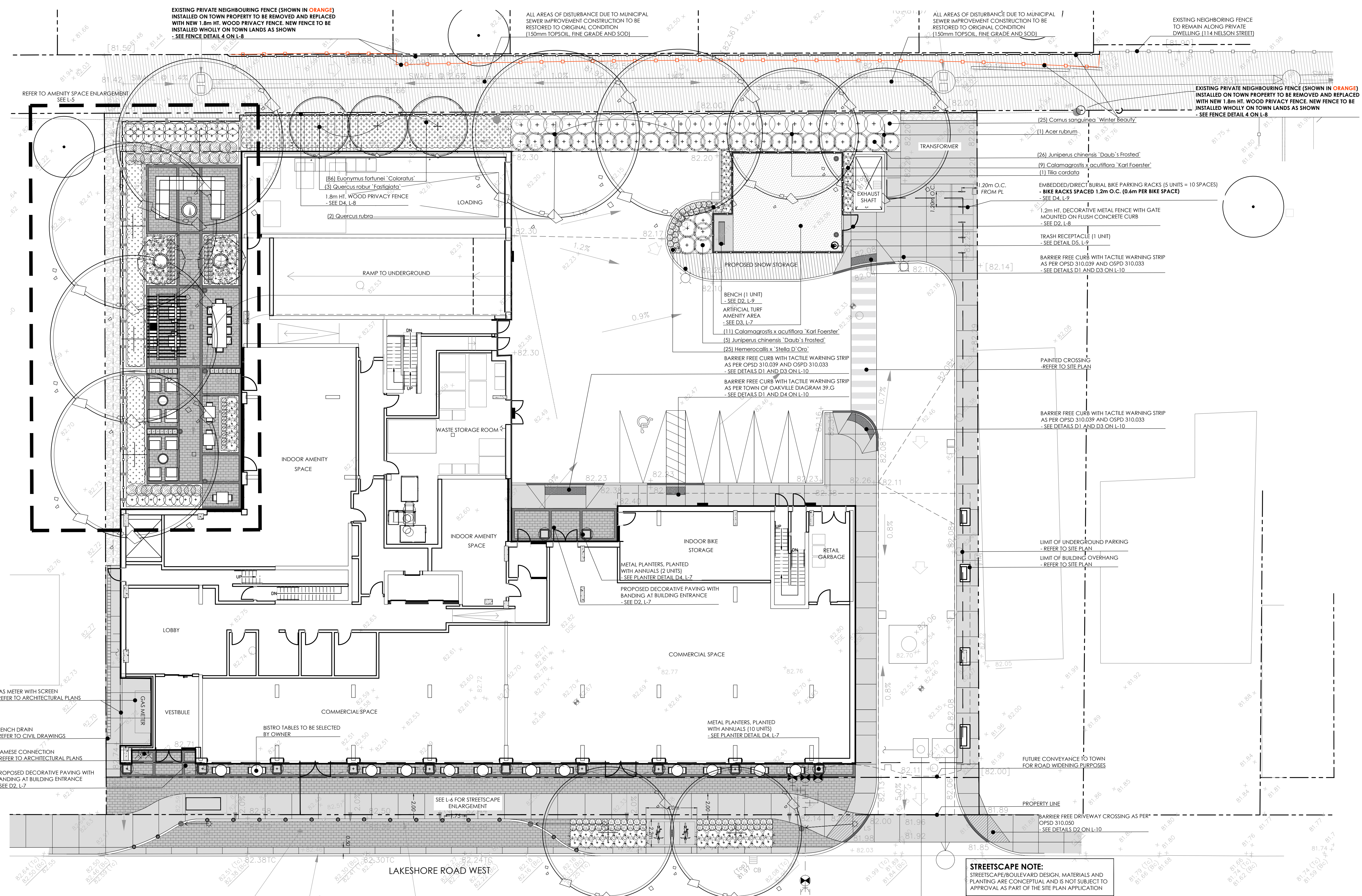
adesso design inc.
landscape architecture

69 John Street South, Suite 250
Hamilton, ON L8N 2B9
t. 905.526.8876
www.adessodesigninc.ca

PROPOSED TREE CANOPY COVERAGE CALCULATION CHART

Tree#	Tree Species	# of trees	Soil Volume (meters cubed) per tree	Crown Area (meters squared) per tree	Canopy Area Subtotal (meters squared)
Proposed Large Stature Trees (> 14m spread)					
1	Liriodendron tulipifera	1	21.42	123.30	493.20
2-4	Liriodendron tulipifera	3	21.14	123.30	493.20
8-9	Quercus rubra	2	21.52	136.10	272.20
Proposed Medium Stature Trees (10.0-13.0m spread)					
10	Tilia cordata	1	21.52	63.40	63.40
11	Acer rubrum	1	21.52	71.49	71.49
Proposed Small Stature Trees (3.0-9.0m spread)					
5-7	Quercus robur 'Fastigata'	3	21.52	7.00	21.00
					Total Canopy (921.29sqm)
Total					Site Area
Canopy Summary					3583.99 sqm
					25.7%
					20.00%





NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission
6	2024-03-22	Issued for 6th Submission
7	2024-08-14	Issued for 7th Submission
8	2024-11-22	Issued for 8th Submission



CLIENT
Graywood Bronte Village
Limited Partnership
MUNICIPALITY
Town of Oakville
PROJECT
2375 Lakeshore Road West

MUNICIPAL FILE NUMBER
OPA. 1729.61 and Z.1729.61

SHEET
Landscape Plan

adesso design inc.
landscape architecture

69 John Street South, Suite 250
Hamilton, ON L8N 2B9
1.905.526.8876
www.adessodesigninc.ca

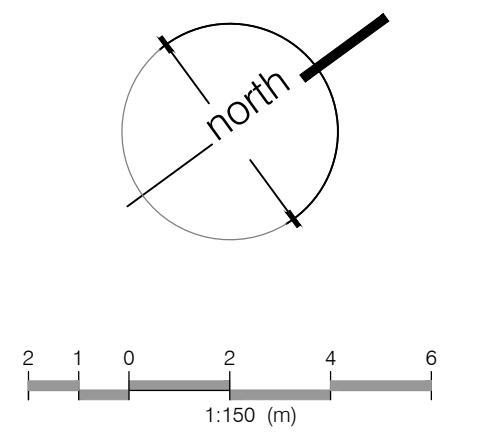
PLANT SCHEDULE SITE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
TREES								
1	Acer rubrum	Red Maple	60mm Cal.	W.B.	15.0	12.0	As Shown	Native to Ontario
3	Quercus robur 'Fastigiata'	Pyramidal English Oak	60mm Cal.	W.B.	15.0	5.0	As Shown	
2	Quercus rubra	Red Oak	60mm Cal.	W.B.	18.0	17.0	As Shown	Native to Ontario
1	Tilia cordata	Littleleaf Linden	60mm Cal.	W.B.	18.0	10.0	As Shown	
SHRUBS								
25	Cornus sanguinea 'Winter Beauty'	Winter Beauty Dogwood	60cm	#3 cont.	1.25	1.5	1.3	
31	Juniperus chinensis 'Daub's Frosted'	Daub's Frosted Juniper	60cm	#3 cont.	0.40	1.25	1.0	
GRASSES								
20	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	-	#1 cont.	1.25	0.60	0.50	
PERENNIALS								
25	Hemerocallis x 'Stella D'Oro'	Stella D'Oro Daylily	-	#1 cont.	0.30	0.50	0.40	
GROUND COVERS								
87	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	40cm	#2 cont.	0.30	1.25	0.80	

LANDSCAPE NOTES:

- All work to be carried out in accordance with by-laws and codes having jurisdiction over site location.
- Complete all work to the satisfaction of the Landscape Architect.
- Report any changes, discrepancies or substitutions to the Landscape Architect for review. Obtain approval from the Landscape Architect before proceeding.
- If it is the contractor's responsibility to determine existing service locations.
- Exact locations of plant material will be determined by placement of site services such as hydrant vaults, meters, utilities roof rain water leaders, driveways, light standards, etc.
- All plant material locations to be staked or marked out and approved by Landscape Architect prior to installation.
- Supply all plant material in accordance with the Canadian Standards for Nursery Stock (8th ed.).
- Install plant material according to details shown.
- Supply and place mulch in accordance with Canadian Landscape Standard (Section 10, Mulching). Disturbed soil areas around trees and shrubs are to be covered with shredded conifer bark mulch such as 'Cedar Bark Mulch' by All Treat Farms or 'Classic Cedar Mulch' by Gro-Bark, or approved equivalent. Alternative mulches must be approved by the Landscape Architect.
- Contractor to utilize layout dimensions where provided.
- Provide planting bed area as noted on the drawing or to accommodate mature size of plant material.
- All support systems must be removed by the contractor at time of final acceptance. No extras will be paid to complete this work.
- Supply and place topsoil in accordance with Canadian Landscape Standard (Section 4, Grading & Drainage and Section 6, Growing Medium) to a minimum depth of 150mm unless otherwise specified.
- Supply and place sod in accordance with Canadian Landscape Standard (Section 7, Lawns & Grass and Section 8, Turfgrass Sod) unless otherwise specified.
- Supply and place seed in accordance with Canadian Landscape Standard (Section 4, Grading & Drainage and Section 6, Growing Medium) unless otherwise specified. All 3:1 or greater slopes to be seeded with facier. Contractor to provide necessary erosion control protection as required to ensure soil stabilization and proper seed germination.
- All dimensions in meters unless otherwise noted.
- If discrepancies arise between plant material count shown on drawing and plant list, the drawing shall be considered correct.
- Contractor to provide minimum one (1) year warranty (including trees on municipal property) from date accepted on all work unless otherwise specified.
- Any site plan or grading and servicing shown is for information only. Refer to approved drawings.
- Not for construction unless stamped, signed and dated by Landscape Architect.
- Drawings not to be reproduced without written consent from Landscape Architect.
- Approval of landscape plan to be obtained from municipality.
- All plant material to be planted a minimum of 1.0m from any swales or catches.
- For grading and servicing information refer to the consulting Engineer's drawings.
- For lighting information and power distribution refer to the electrical consultant's drawings.

STREETSCAPE NOTE:
STREETSCAPE/BOULEVARD DESIGN, MATERIALS AND PLANTING ARE CONCEPTUAL AND IS NOT SUBJECT TO APPROVAL AS PART OF THE SITE PLAN APPLICATION



1.25m HT. WOOD PRIVACY FENCE MOUNTED TO 0.55m HEIGHT (0.4m WIDE) CONCRETE PLANTER WALL - SEE D4, L-8

(24) Hosta x 'Halcyon'
(22) Hydrangea arborescens 'Annabelle'

0.55m HT. CONCRETE PLANTER WALL TO PROVIDE SOIL DEPTH - INTERIOR FACING WALLS TO BE 0.2m WIDTH AND EXTERIOR WALL ALONG PROPERTY LINE TO BE 0.4m TO ALLOW FOR WOOD FENCE SADDLE MOUNT. - SEE DETAIL D1, L-8

50mm Ø RIVER STONE BETWEEN WALL AND FENCE

PROPOSED GAS FIRE FEATURE (1 UNIT)
- GAS LINE AND SHUT OFF TIMER TO BE PROVIDED BY MECHANICAL ENGINEER - SEE D3, L-9

LOUNGE FURNITURE TO BE SELECTED BY OWNER

CONCRETE PLANTER SCUPPER/WEEP HOLE LOCATIONS - SEE DETAIL D1, L-8 FOR PLANTER WALL DETAILS

(13) Deschampsia cespitosa

(24) Heuchera x 'Obsidian'

0.55m HT. CONCRETE PLANTER WALL TO PROVIDE SOIL DEPTH - INTERIOR FACING WALLS TO BE 0.2m WIDTH AND EXTERIOR WALL ALONG PROPERTY LINE TO BE 0.4m TO ALLOW FOR WOOD FENCE SADDLE MOUNT. - SEE DETAIL D1, L-8

(33) Euonymus fortunei 'Coloratus'

PROPOSED SHADE STRUCTURE - SEE D3, L-8

0.4m GAP IN PLANTER TO PROVIDE EMERGENCY STORMWATER RELIEF FOR AMENITY AREA - REFER TO CIVIL DRAWINGS - FENCE ATTACHED TO TOP OF WALL TO SPAN OVER GAP AS SHOWN

(18) Euonymus fortunei 'Coloratus'

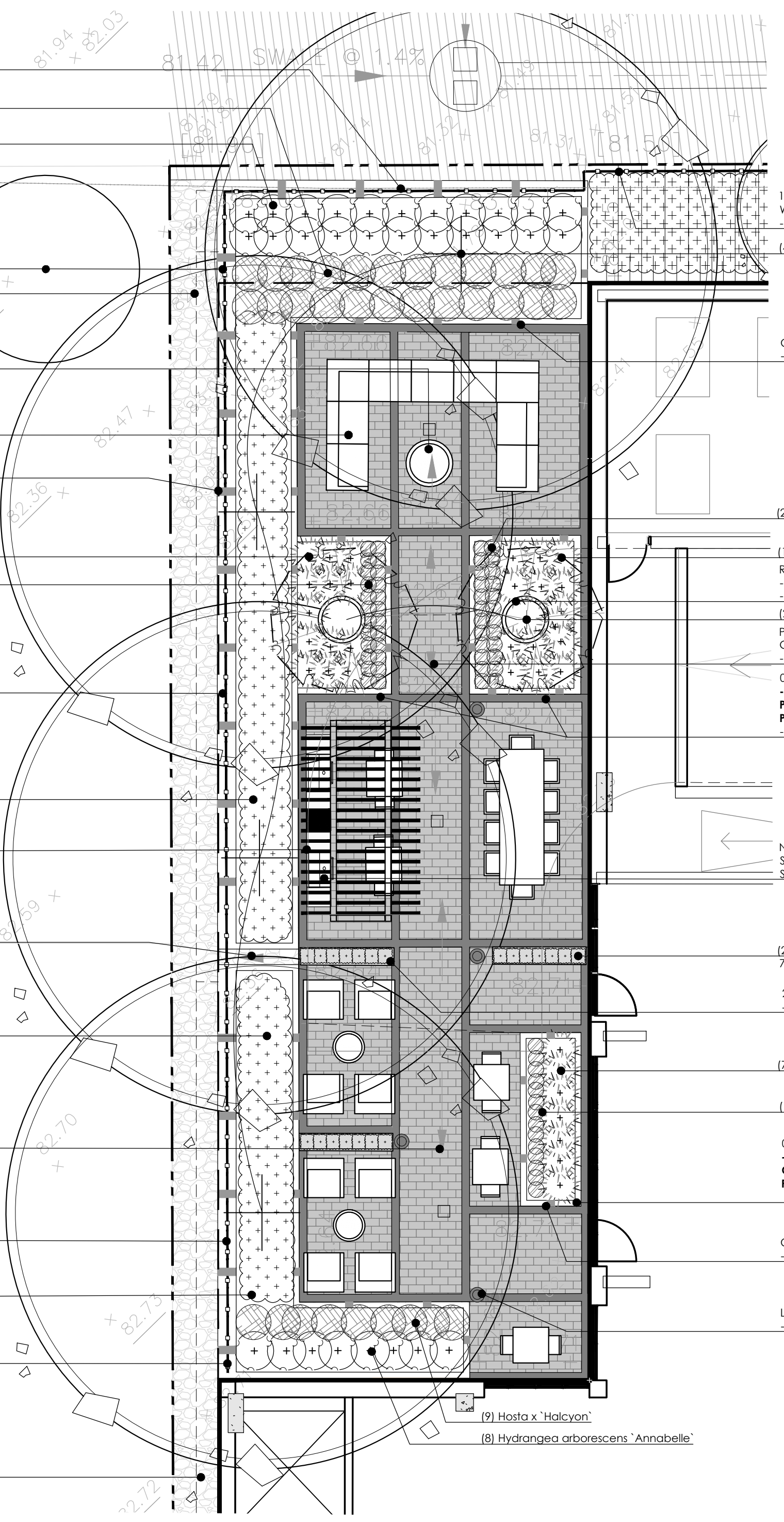
PRECAST CONCRETE UNIT PAVERS ON GRANULAR BASE WITH BANDING - SEE D2, L-7

0.55m HT. CONCRETE PLANTER WALL TO PROVIDE SOIL DEPTH - INTERIOR FACING WALLS TO BE 0.2m WIDTH AND EXTERIOR WALL ALONG PROPERTY LINE TO BE 0.4m TO ALLOW FOR WOOD FENCE SADDLE MOUNT. - SEE DETAIL D1, L-8

94.72m³ SOIL VOLUME (23.68m³/tree)

1.25m HT. WOOD PRIVACY FENCE MOUNTED TO 0.55m HEIGHT (0.4m WIDE) CONCRETE PLANTER WALL - SEE D4, L-8

150mm DEPTH 50mm Ø RIVER STONE ALONG BUILDING EDGE



1.8m HT. WOOD PRIVACY FENCE (NOT MOUNTED TO WALL - STANDARD SONOTUBE AT GRADE INSTALLATION) - SEE D4, L-8

(4) Liliodendron tulipifera

CONCRETE PLANTER SCUPPER/WEEP HOLE LOCATIONS - SEE DETAIL D1, L-8 FOR PLANTER WALL DETAILS

(24) Heuchera x 'Obsidian'

(14) Deschampsia cespitosa
ROUND CONCRETE PLANTERS (2 UNITS)
- SEE D1, L-9
- 0.94m³ SOIL VOLUME PER PLANTER

(2) Amelanchier canadensis
PRECAST CONCRETE UNIT PAVERS ON GRANULAR BASE WITH BANDING - SEE D2, L-7

0.15m HT. CONCRETE PLANTER CURB
- PROVIDE 0.2m GAP MINIMUM BETWEEN PLANTER CURB AND FACADE. GAP TO BE PAVED WITH UNIT PAVES BAND (TYP.) - SEE DETAIL D1, L-8

NAPOLEON 500B 88Q (2) IN SURROUNDING CABINETS AND STAINLESS STEEL COUNTERTOP

(21) Buxus microphylla 'Golden Dream'
7 PER PLANTER AS SHOWN

2.4mØ.5m METAL PLANTER (3 UNITS)
- SEE D4, L-7

(7) Deschampsia cespitosa

(14) Heuchera x 'Obsidian'

0.15m HT. CONCRETE PLANTER CURB
- PROVIDE 0.2m GAP MINIMUM BETWEEN PLANTER CURB AND FACADE. GAP TO BE PAVED WITH UNIT PAVES BAND (TYP.) - SEE DETAIL D1, L-8

CONCRETE PLANTER SCUPPER/WEEP HOLE LOCATIONS - SEE DETAIL D1, L-8 FOR PLANTER WALL DETAILS

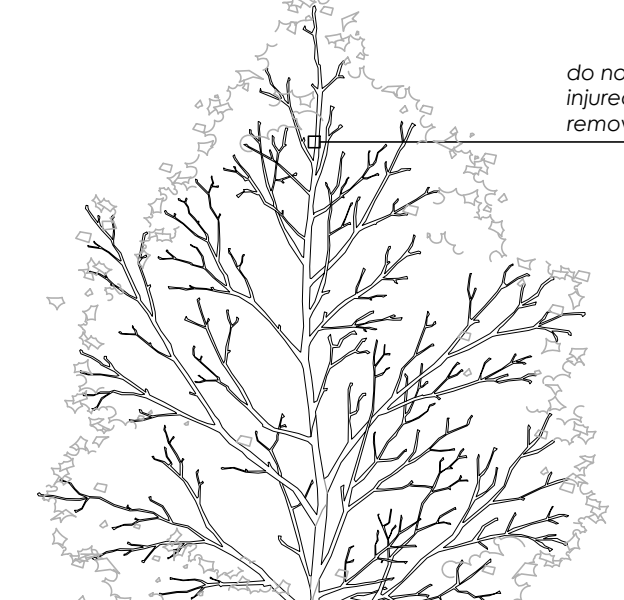
LIGHT BOLLARDS - REFER TO ELECTRICAL PLANS BY MV SHORE

(9) Hosta x 'Halcyon'

(8) Hydrangea arborescens 'Annabelle'

PLANTING NOTES:

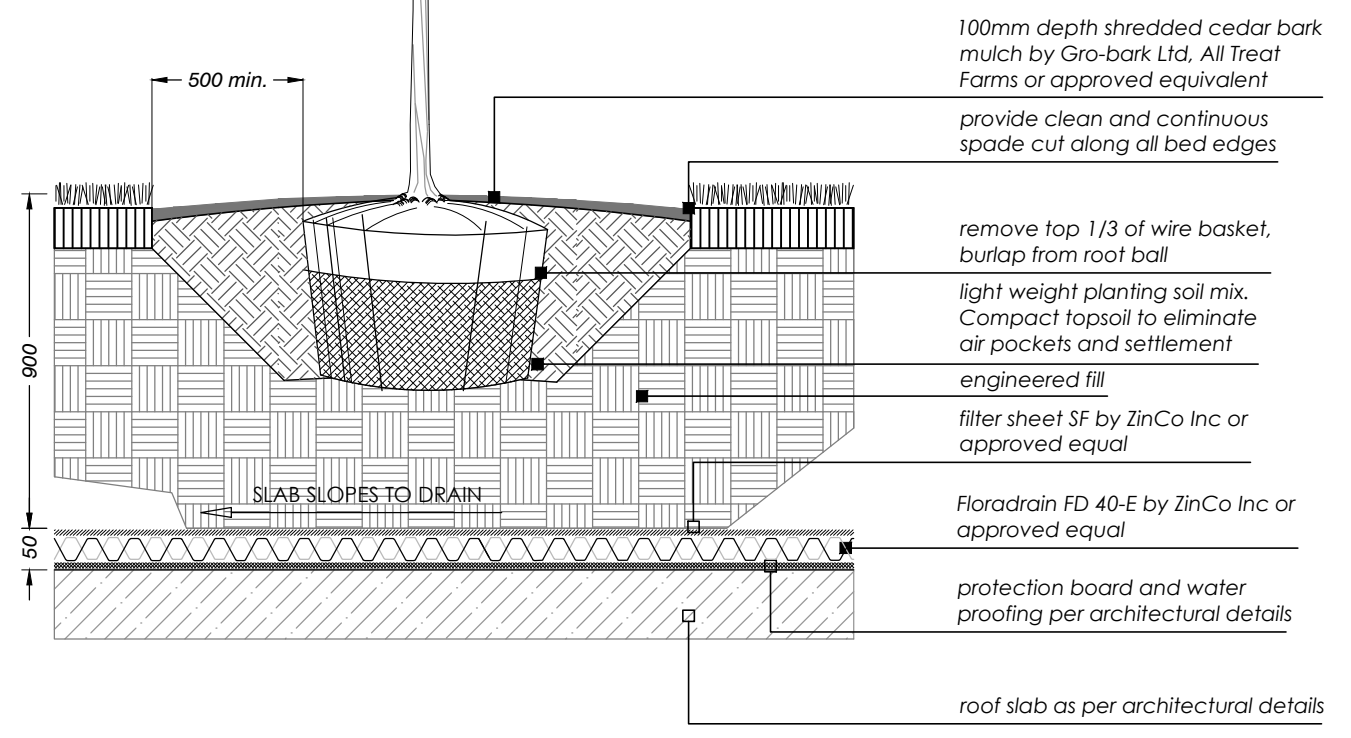
- Soil mixture: four (4) parts native soil, one (1) part well rotted compost. If existing soil is not suitable provide light mix topsoil or approved equal.
- Saucer shall be soaked with water and mulched immediately following planting.
- Massed shrubs shall be planted in continuous mulched beds unless otherwise noted.
- Staking schedule:
 - < 30mm caliper size / 2500mm ht. - one stake
 - > 30mm caliper size / 2500mm ht. - two stakes
 - > 70mm caliper - three stakes
- All support systems must be removed once tree is established.
- All trees to be straight and planted vertically regardless of slope.
- Top of root flare shall be positioned 50mm above grade.
- The following depths of soil are required for planting:
 - 15cm topsoil for sod;
 - 45cm of topsoil for perennials;
 - 45cm of topsoil for shrubs;
 - 90cm of topsoil for trees



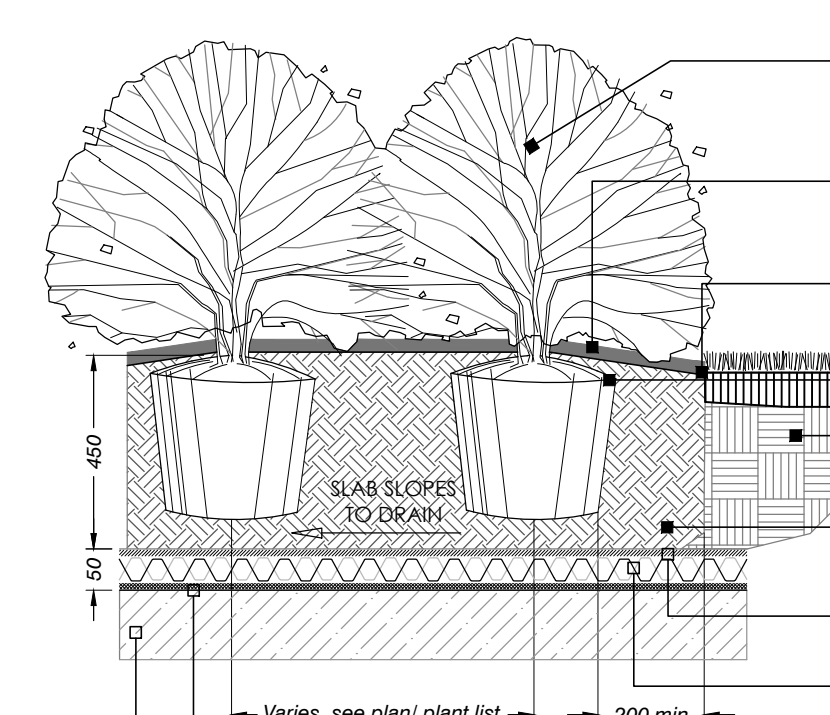
do not cut or damage leader. prune only injured, infected or dead branches. remove all nursery tags, plastic or metal

NOTES:

- Detail to be reviewed and approved by structural engineer prior to construction. Refer to structural engineering drawings for underground garage wall and roof slab details.
- Staking of trees will not occur on roof top.



Balled & Burlapped/ Wire Basket Deciduous Tree (on slab) SCALE: NTS 1 L-5

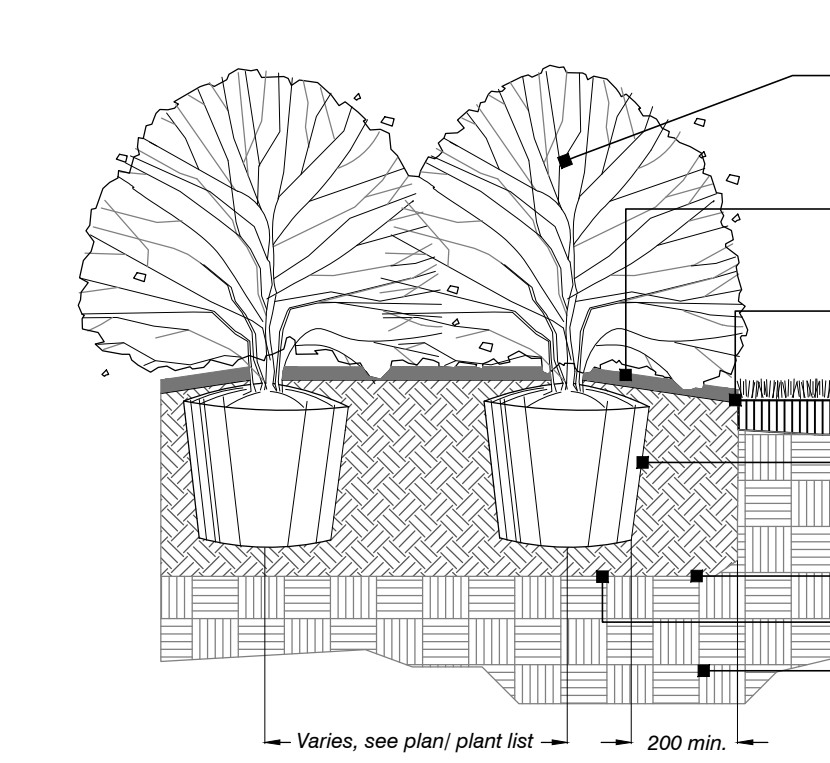


Prune only injured, infected or dead branches. remove all nursery tags

NOTES:

- Detail to be reviewed and approved by structural engineer prior to construction. Refer to structural engineering drawings for underground garage wall and roof slab details.
- Staking of shrubs will not occur on roof top.

Container Grown Shrub (on slab) SCALE: NTS 3 L-5

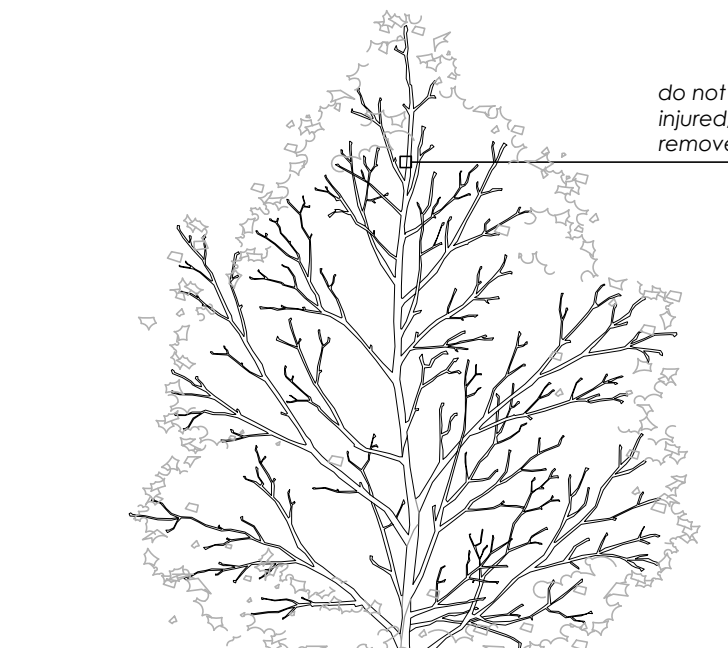


Prune only injured, infected or dead branches. remove all nursery tags

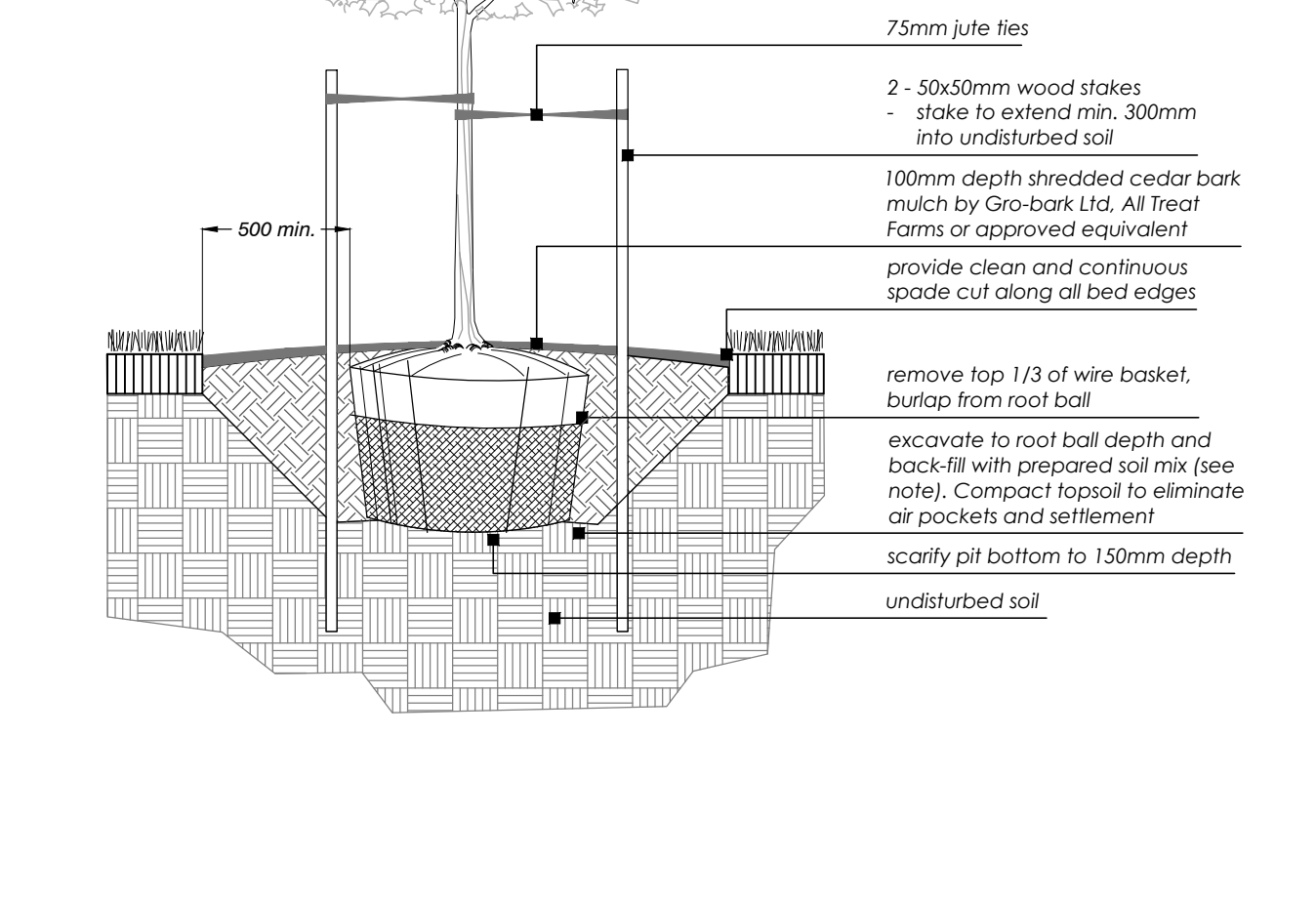
NOTES:

- Detail to be reviewed and approved by structural engineer prior to construction. Refer to structural engineering drawings for underground garage wall and roof slab details.
- Staking of shrubs will not occur on roof top.

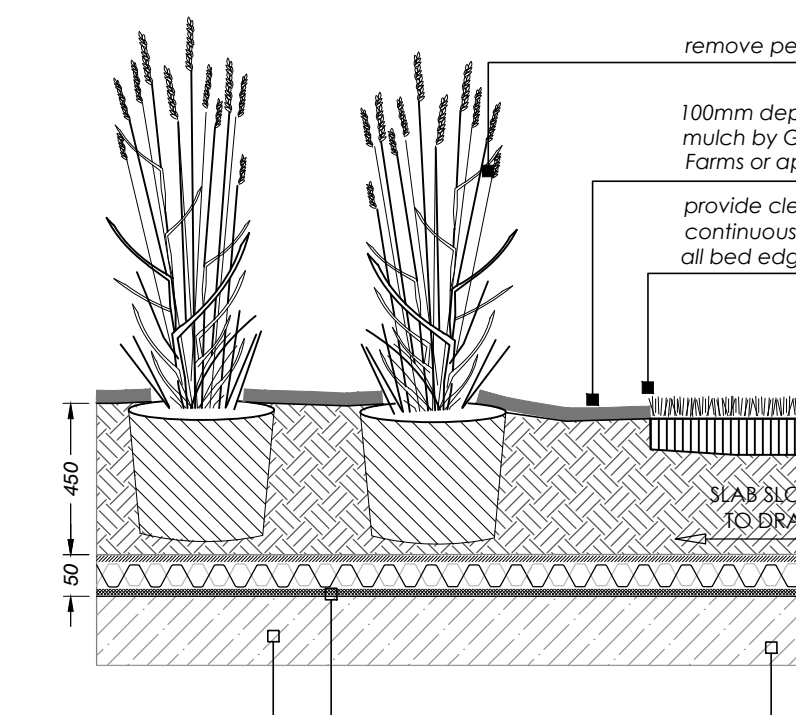
Container Grown Shrub SCALE: NTS 5 L-5



do not cut or damage leader. prune only injured, infected or dead branches. remove all nursery tags, plastic or metal



Balled & Burlapped/ Wire Basket Deciduous Tree SCALE: NTS 2 L-5

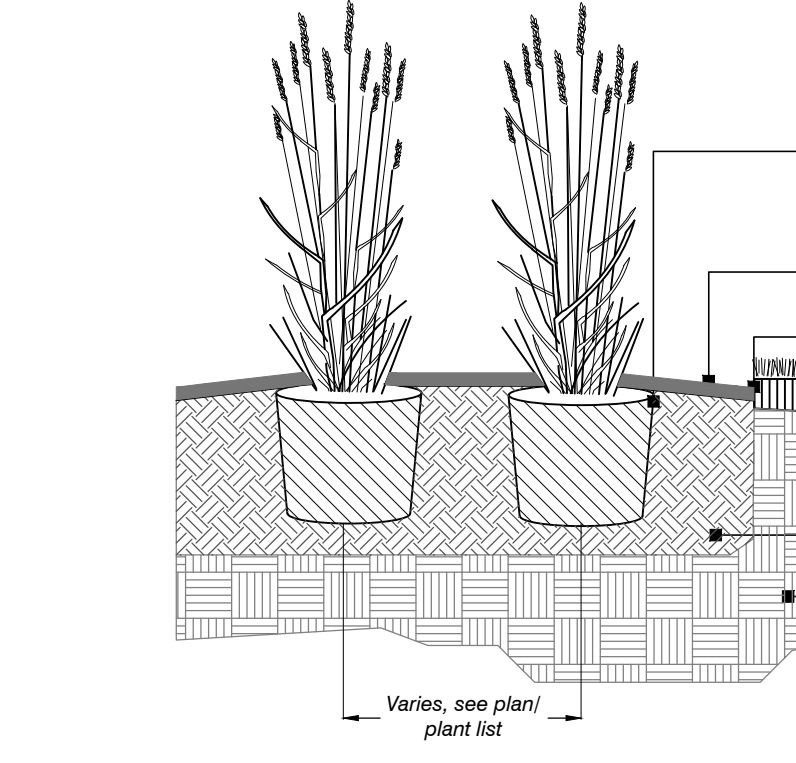


remove perennials from all pots or containers

NOTES:

- Detail to be reviewed and approved by structural engineer prior to construction. Refer to structural engineering drawings for underground garage wall and roof slab details.

Container Grown Perennial (on slab) SCALE: NTS 4 L-5



remove perennial from pot or container

NOTES:

- Detail to be reviewed and approved by structural engineer prior to construction. Refer to structural engineering drawings for underground garage wall and roof slab details.

Container Grown Perennial SCALE: NTS 6 L-5

KEY MAP - N.T.S.



LEGEND

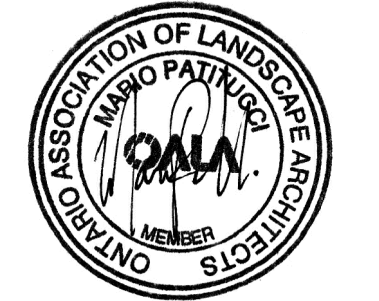
- property line
- existing tree to remain
- ⊕ proposed deciduous tree
- ⊙ proposed shrub
- ⊘ proposed perennial
- +81.88 existing elevation
- +82.10 proposed elevation
- C.I.P. concrete
- ▨ precast concrete unit pavers

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission
6	2024-03-22	Issued for 6th Submission
7	2024-08-14	Issued for 7th Submission
8	2024-11-22	Issued for 8th Submission

STAMP



CLIENT
Graywood Bronte Village Limited Partnership
MUNICIPALITY
Town of Oakville
PROJECT
2375 Lakeshore Road West

MUNICIPAL FILE NUMBER
OPA. 1729.61 and Z.1729.61

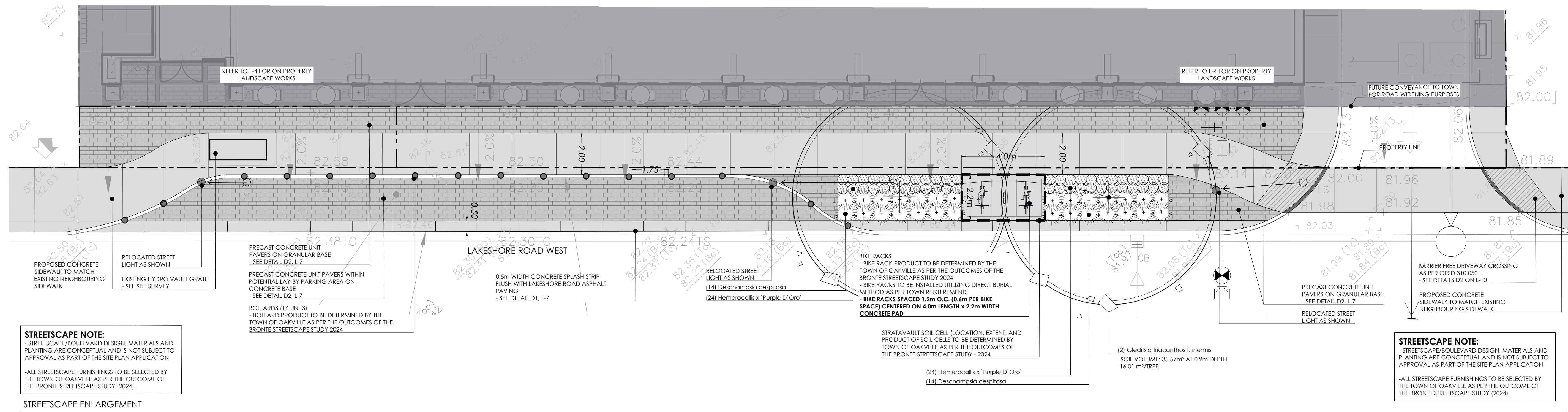
SHEET
Amenity Space Enlargement

L-5

adesso design inc.
landscape architecture

69 John Street South, Suite 250
Hamilton, ON L8N 2B9
t. 905.526.8876
www.adessodesigninc.ca

NOT TO SCALE. THIS PLAN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS AND NOTES TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. DATE: 2024-11-22. DRAWN BY: J. B. CHECKED BY: J. B. PROJECT: 21-230. SHEET: L-5. SCALE: NTS.



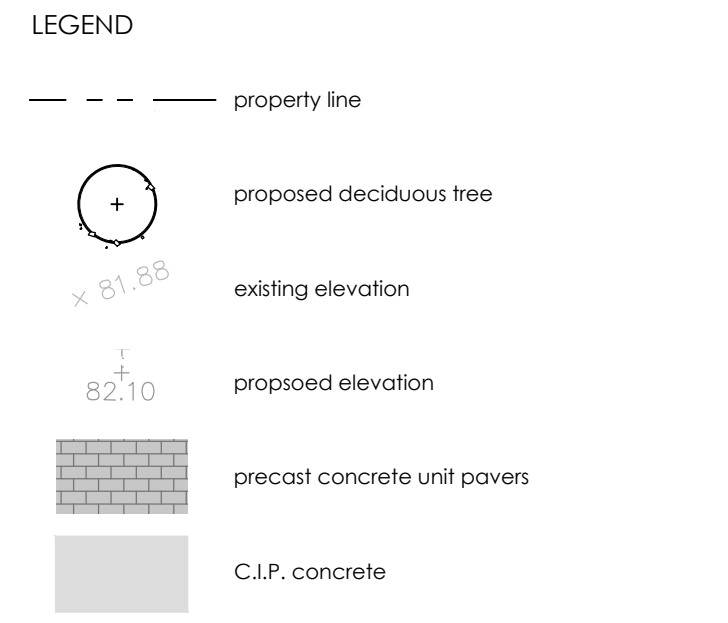
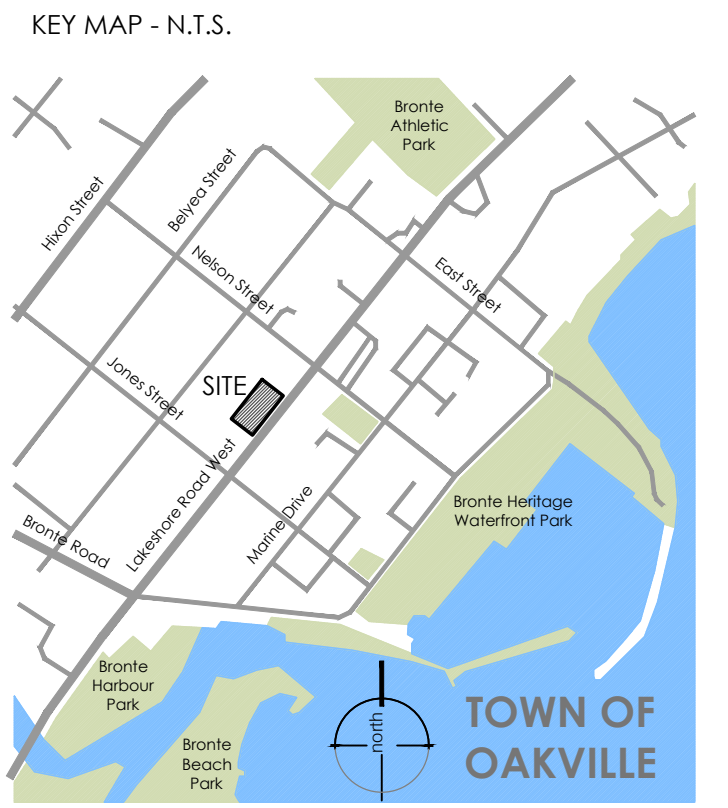
STREETSCAPE NOTE:
 - STREETSCAPE/BOULEVARD DESIGN, MATERIALS AND PLANTING ARE CONCEPTUAL AND IS NOT SUBJECT TO APPROVAL AS PART OF THE SITE PLAN APPLICATION
 - ALL STREETSCAPE FURNISHINGS TO BE SELECTED BY THE TOWN OF OAKVILLE AS PER THE OUTCOME OF THE BRONTE STREETSCAPE STUDY (2024).

STREETSCAPE NOTE:
 - STREETSCAPE/BOULEVARD DESIGN, MATERIALS AND PLANTING ARE CONCEPTUAL AND IS NOT SUBJECT TO APPROVAL AS PART OF THE SITE PLAN APPLICATION
 - ALL STREETSCAPE FURNISHINGS TO BE SELECTED BY THE TOWN OF OAKVILLE AS PER THE OUTCOME OF THE BRONTE STREETSCAPE STUDY (2024).

STREETSCAPE ENLARGEMENT
 SCALE: 1:100

PLANT SCHEDULE STREETSCAPE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
TREES								
2	<i>Gleditsia triacanthos f. inermis</i>	Thornless Honey Locust	70mm Col.	W.B.	17.0	12.0		As Shown
GRASSES								
28	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	-	#1 cont.	0.70	0.70	0.60	Native to Ontario
PERENNIALS								
48	<i>Heimerocallis x 'Purple D'Oro'</i>	Purple D'Oro Daylily	-	#1 cont.	0.50	0.50	0.40	Rebloomer



NOT FOR CONSTRUCTION
 ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission
6	2024-03-22	Issued for 6th Submission
7	2024-08-14	Issued for 7th Submission
8	2024-11-22	Issued for 8th Submission



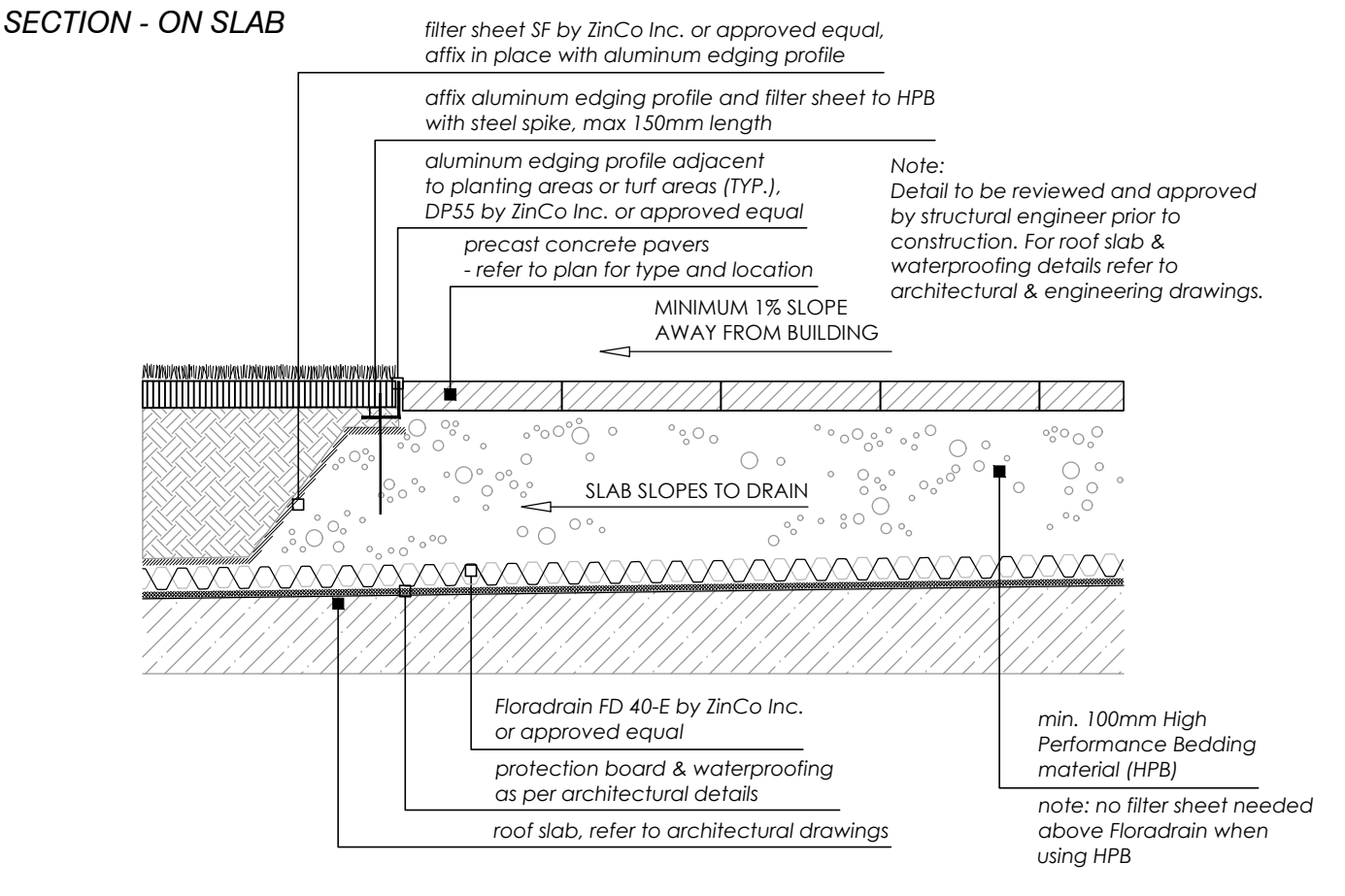
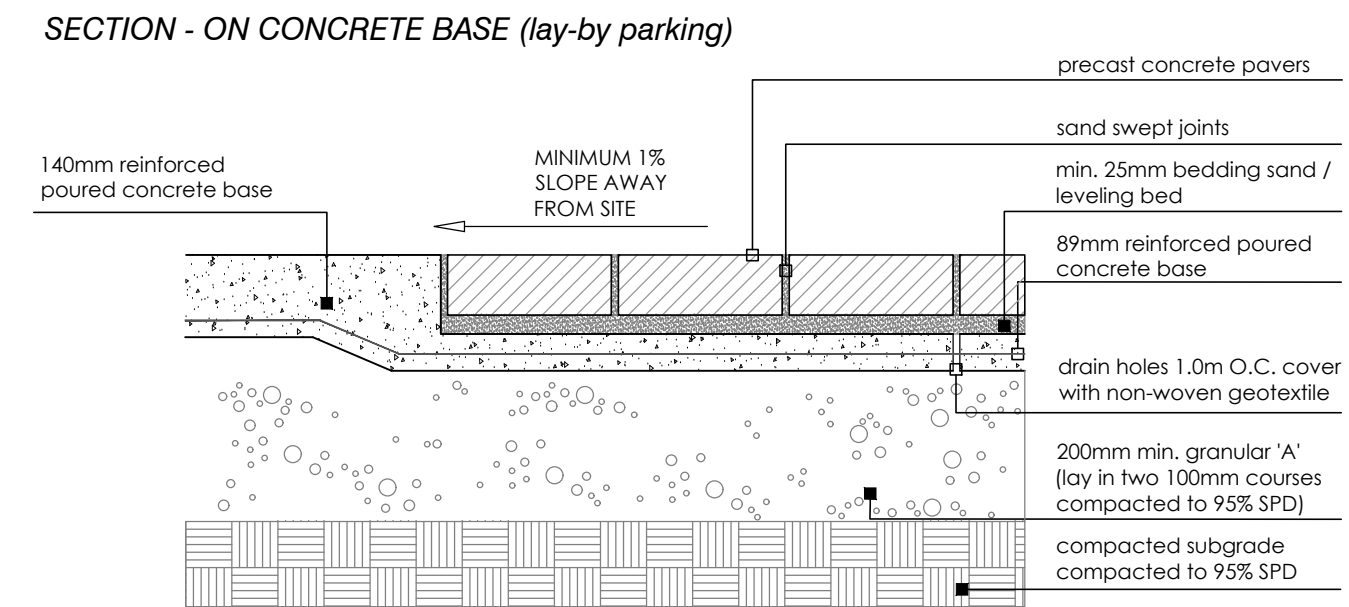
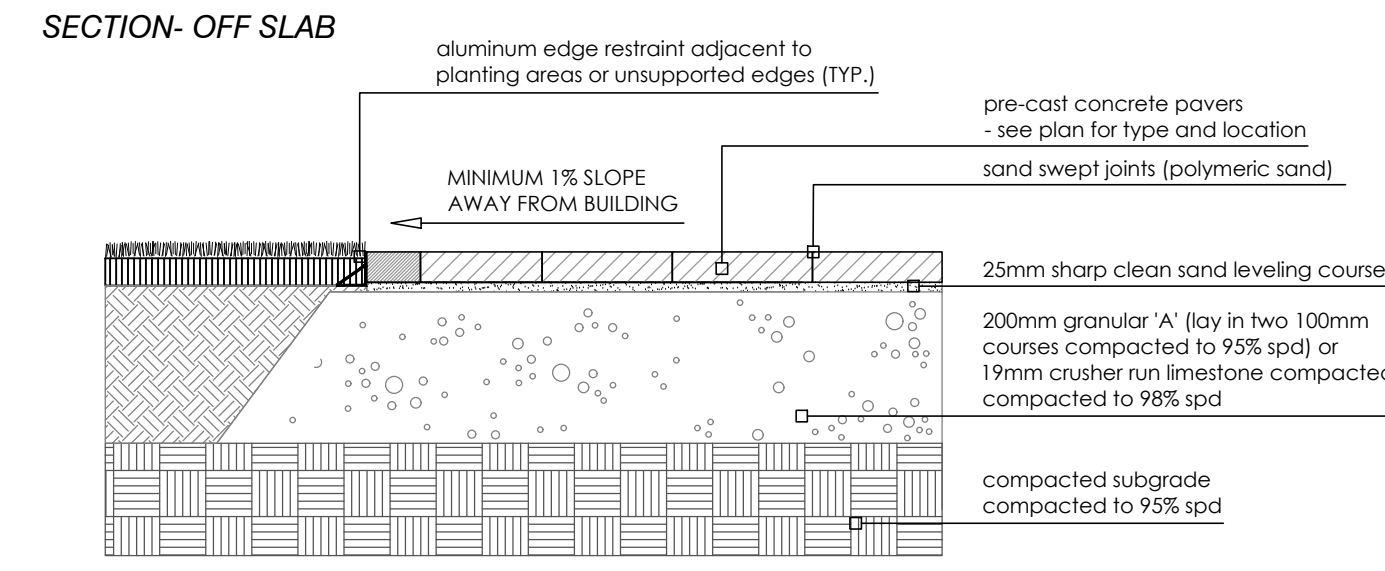
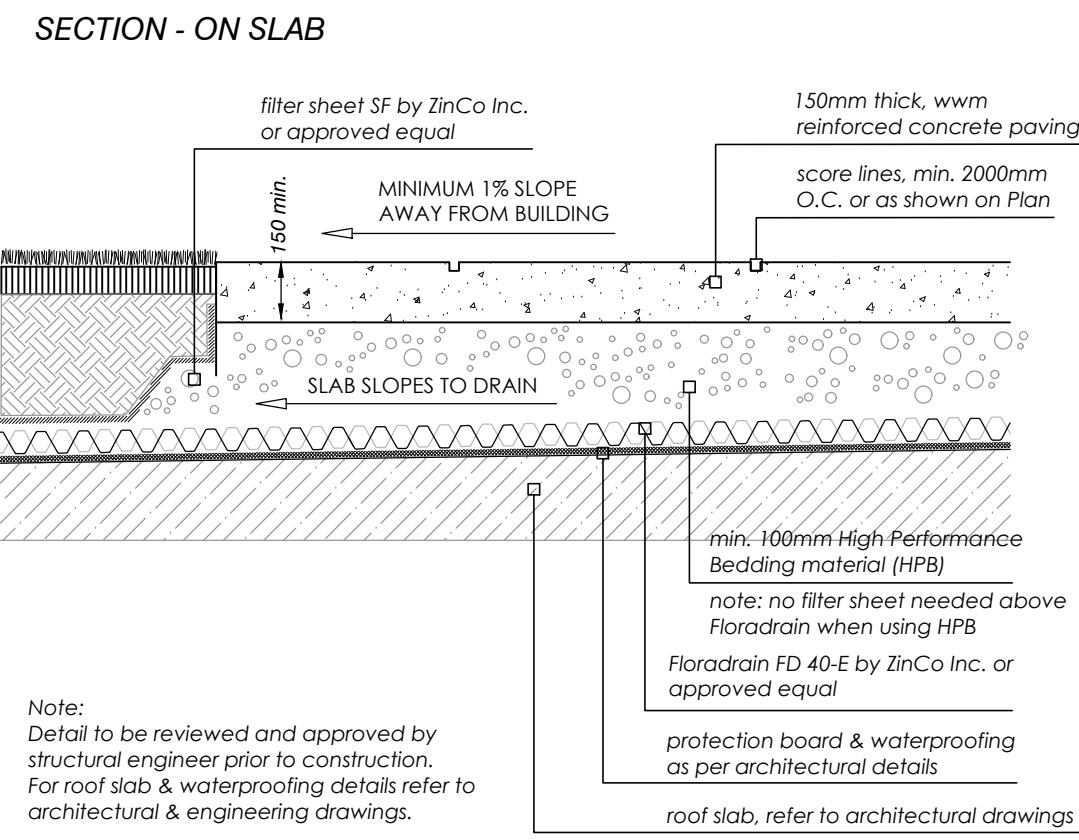
CLIENT
 Graywood Bronte Village Limited Partnership
 MUNICIPALITY
 Town of Oakville
 PROJECT
 2375 Lakeshore Road West

MUNICIPAL FILE NUMBER
 OPA. 1729.61 and Z.1729.61

SHEET
 Landscape Streetscape Plan **L-6**

adesso design inc.
 landscape architecture

69 John Street South, Suite 250
 Hamilton, ON L8N 2B9
 t. 905.526.8876
 www.adessodesigninc.ca

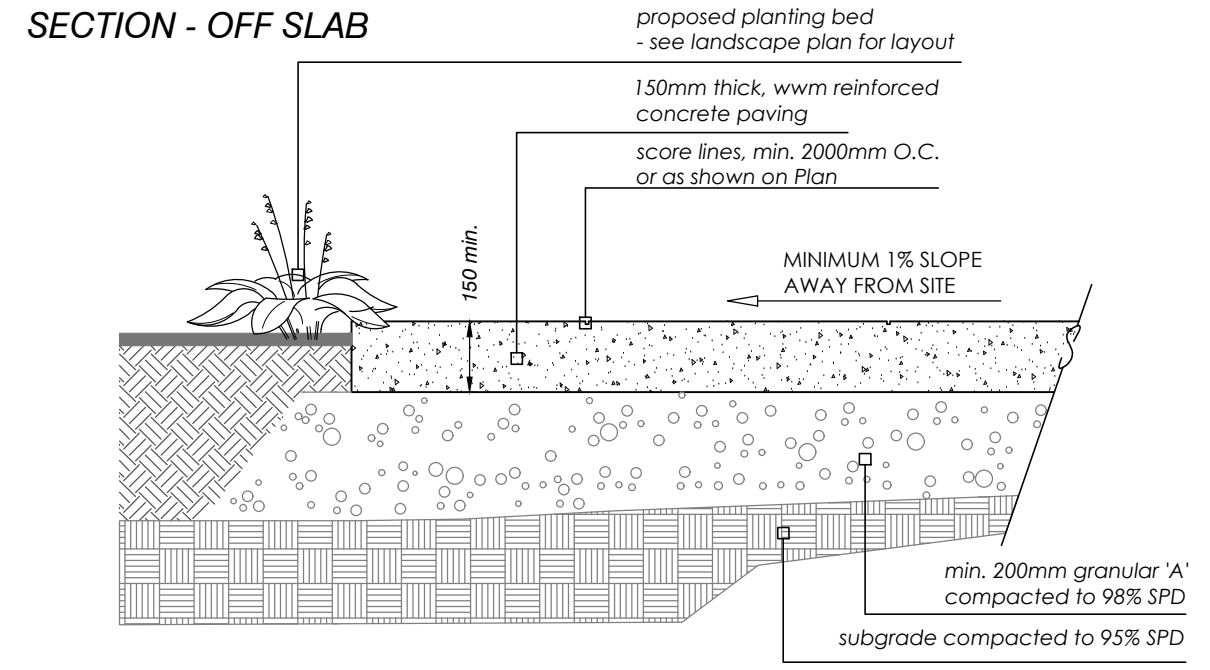


NOTES:
 1. Paver types are as follows (or approved equal):

TYPE	DESCRIPTION	PATTERN	SIZE	COLOUR	LOCATION
'A'	Pernacon Melville Plank	Running Bond	127mmx400mm	Scandia Grey	Entrance, boulevard, amenity area, & lay-by parking
'B'	Pernacon Melville Plank	Banding	127mmx300mm	Rockland Black	Banding (Entrance and Amenity Space)

2. Unit pavers are 80mm thick. Contractor to provide samples on site to be approved by Landscape Architect and/or Owner.

- CONCRETE NOTES:**
- Do concrete materials and methods of concrete construction in accordance with structural engineering drawings.
 - Contractor to verify accuracy of concrete details and reinforcement prior to installation.
 - For construction materials refer to structural engineering drawings and specifications.
 - Concrete mix to provide compressive strength of 28MPa at 28 days, entrained air of 6% to 1% and slump at point of discharge of 60mm, or as per structural engineering drawings and specifications.
 - Pour concrete in favorable weather conditions. Inform the landscape architect of any adverse weather impacts prior to pouring.
 - Pour concrete in uniform layers of continuous lengths between expansion joints. An expansion joint is required where placing has been suspended for 30 minutes.
 - Provide control joints/expansion joints as shown on drawings or as per structural engineering drawings.
 - Surface finish of planter is to be an architectural finish with the use of form liners as per architectural concrete specifications.
 - Repair defective areas while concrete is still plastic, or remove defective work and replace with new concrete.
 - Concrete areas will not be accepted if:
 - fails to meet requirements of this specification;
 - contains excessive honeycombing or embedded debris;
 - 28 days average strength in any defined area is less than 95% of specified minimum strength;
 - surface irregularities;
 - damaged or chipped;
 - poor workmanship.
 - It is the contractor's responsibility to maintain and protect concrete areas until time of final acceptance.

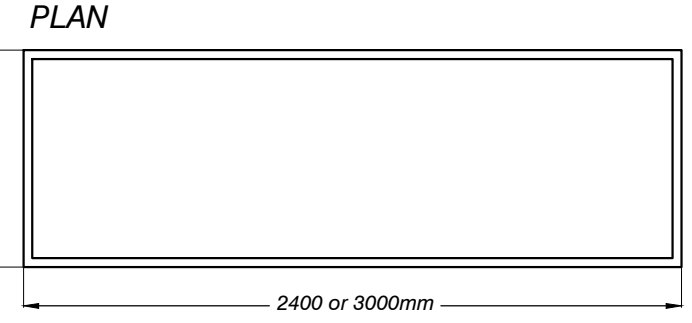
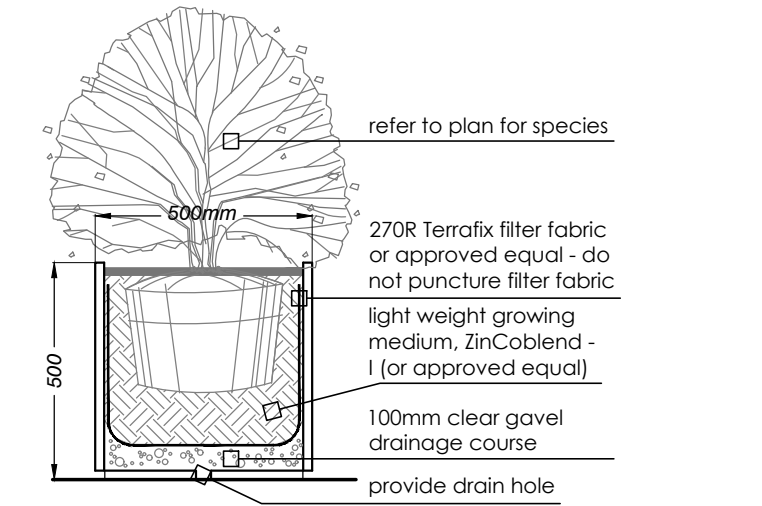


Cast in Place Concrete Paving
SCALE: NTS

Precast Concrete Unit Pavers
SCALE: NTS

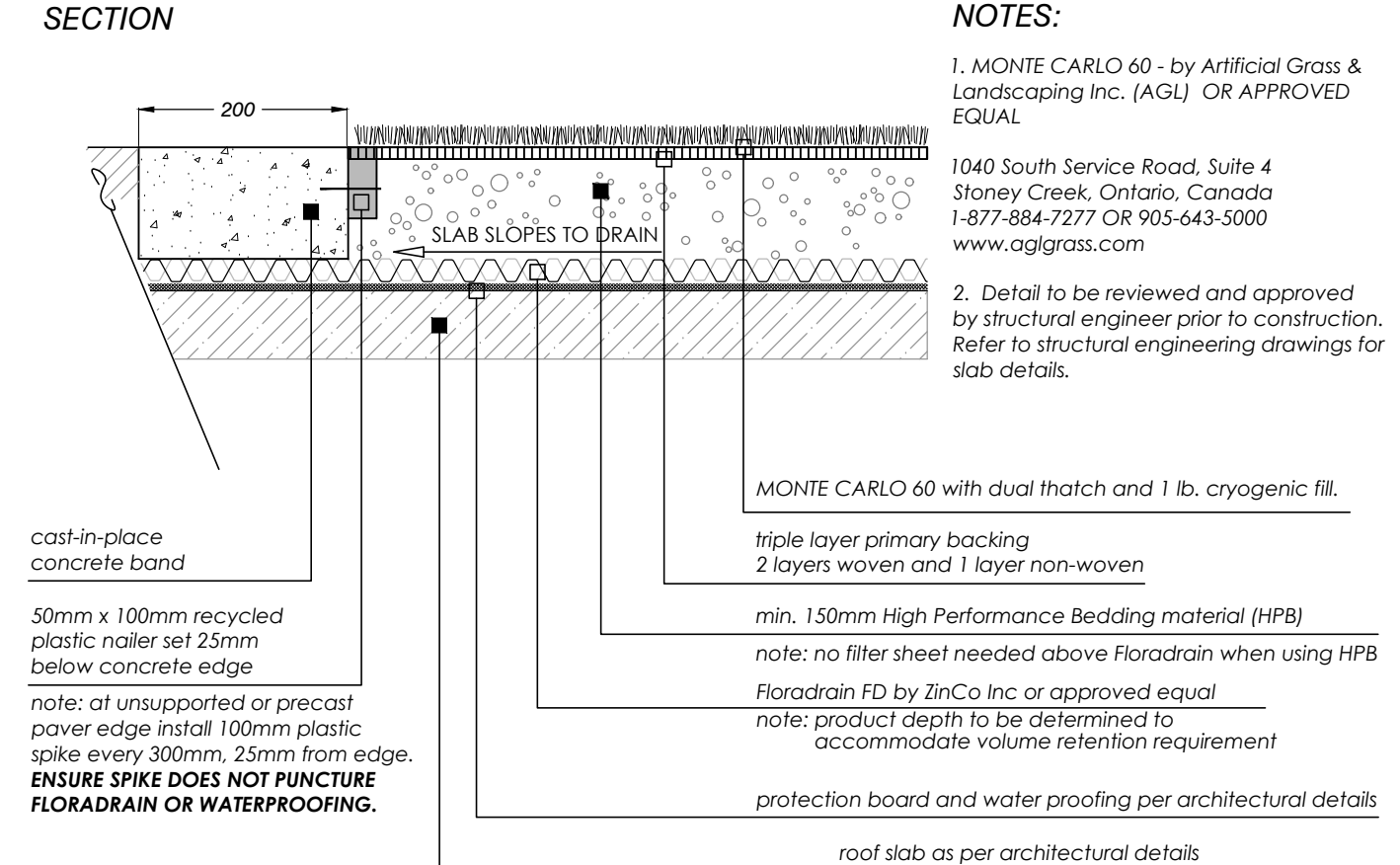
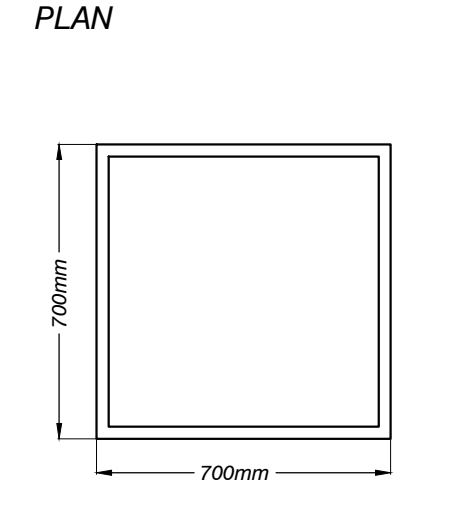
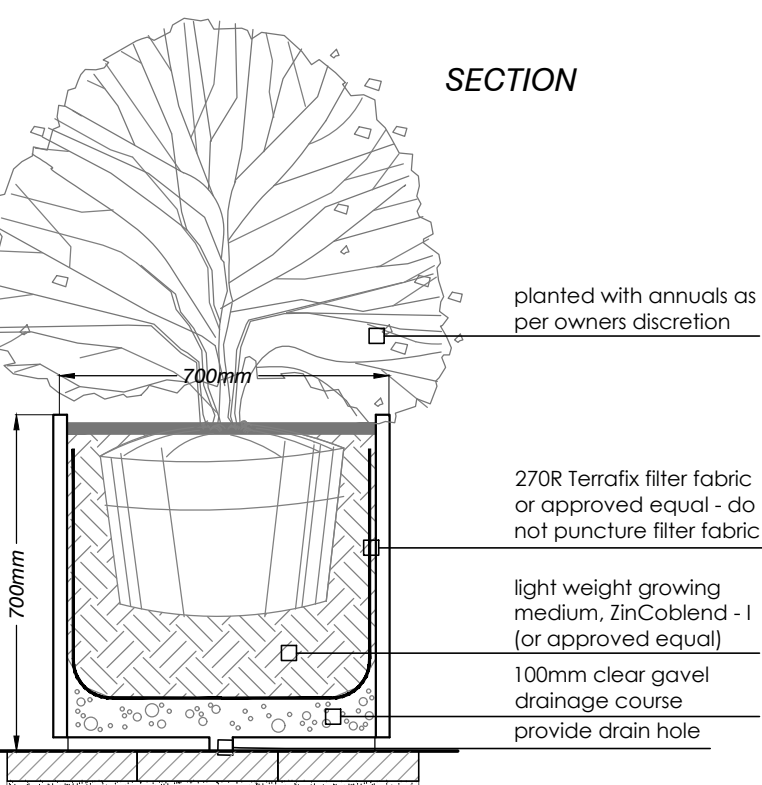
SECTION

Flatpack Planter (or Approved equal)
 DIMENSIONS: 3.00m x 0.5m x 0.5m (1 Quantity)
 COLOUR: Black
 MANUFACTURER: Green Theory Design
 E: sales@greentheorydesign.com
 P: 604-475-7002



SECTION

Square Aluminum Planter
 DIMENSIONS: 0.7m x 0.7m x 0.7m
 COLOUR: Black
 QUANTITY: 12
 MANUFACTURER: Green Theory Design
 CONTACT: Park Street - Kevin Behrldge
 E: sales@greentheorydesign.com
 P: 604-475-7002



Artificial Grass
SCALE: NTS

Green Theory Metal Planter (or approved equal)
SCALE: NTS

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission
6	2024-03-22	Issued for 6th Submission
7	2024-08-14	Issued for 7th Submission
8	2024-11-22	Issued for 8th Submission



CLIENT
 Graywood Bronte Village Limited Partnership
 MUNICIPALITY
 Town of Oakville
 PROJECT
 2375 Lakeshore Road West

MUNICIPAL FILE NUMBER
 OPA. 1729.61 and Z.1729.61

SHEET
 Details

L-7

adesso design inc.
 landscape architecture

69 John Street South, Suite 250
 Hamilton, ON L8N 2B9
 t. 905.526.8876
 www.adessodesigninc.ca

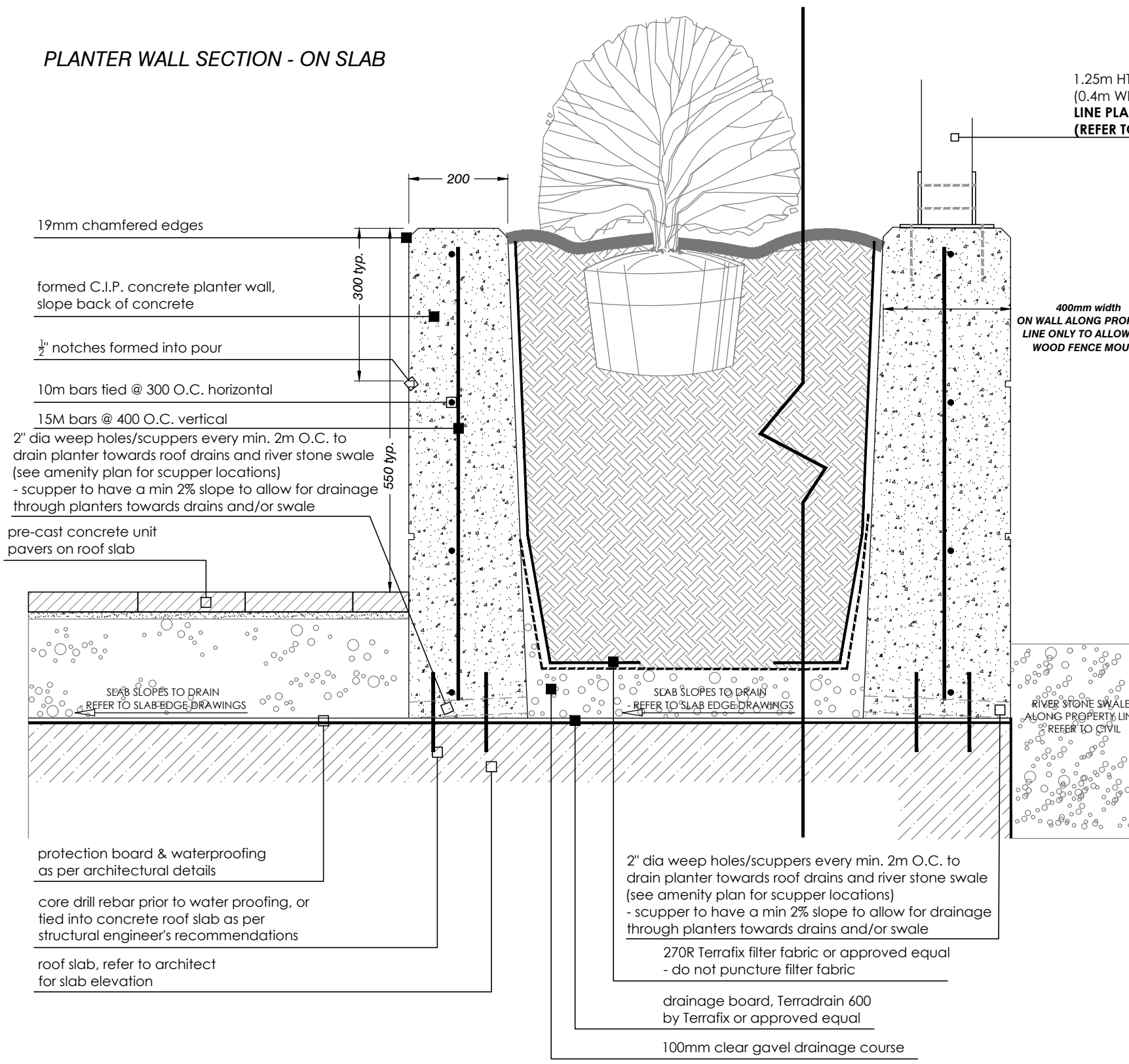
CONCRETE NOTES:

1. Do concrete materials and methods of concrete construction in accordance with OPSS 351.
2. Contractor to verify accuracy of concrete details and reinforcement prior to installation.
3. Provide following materials:
 1. cement: to OPSS 905 and 1350.
 2. aggregates for concrete: OPSS 905 and 1350
 3. reinforcing steel if detailed: OPSS 905 and 1350
 4. wire ties if detailed: plain, cold drawn annealed steel wire.
 5. form stripping agent: colorless mineral oil, free of kerosene.
 6. latex bonding agent: sika bond, sikamix limited, or approved equal.
 7. form lumber and plywood: clean, free of loose knots, splits and with repairs made smoothly and securely.
 8. joint fillers: preformed, non-extruding, resilient bituminous type.
 9. admixtures: to be used only when approved by engineer.
 10. aggregates for base: granular 'A' to OPSS form 1010.
 11. water: water used in mixing or curing shall be reasonably clean and free of oil, salt, acid, alkali, sugar, vegetable matter or other substance injurious to the finished project and shall meet the requirement of OPSS.
4. Concrete mix to provide compressive strength of 28MPa at 28 days, entrained air of 6% to 1% and slump at point of discharge of 60mm for curbs and footings.
5. Granular base to be compacted to 95% maximum dry density to OPSS and to depths as detailed.
6. Pour concrete in favourable weather conditions.
7. Apply surface finish as detailed.
8. Provide control joints/expansion joints 3000mm O.C. or as required.
9. Repair defective areas while concrete is still plastic, or remove defective work and replace with new concrete.
10. Concrete areas will not be accepted if:
 1. fails to meet requirements of this specification
 2. contains excessive honeycombing or embedded debris
 3. 28 days average strength in any defined area is less than 95% of specified minimum strength.
 4. surface irregularities.
 5. damaged or chipped.
 6. poor workmanship.
11. It is the contractor's responsibility to maintain and protect concrete areas until time of final acceptance.

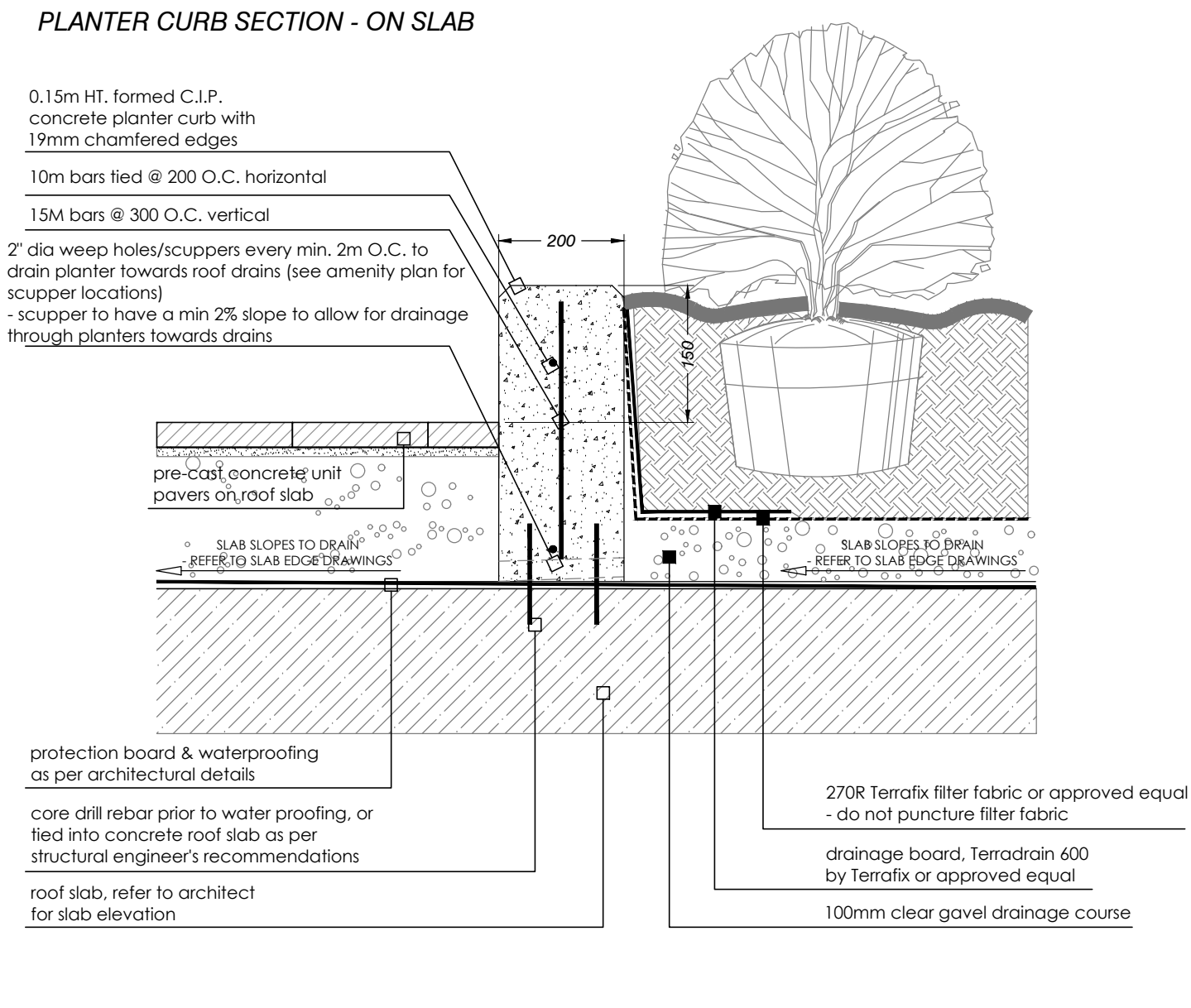
GENERAL NOTES:

1. Detail to be reviewed and approved by structural engineer prior to construction. Refer to structural engineering drawings for underground garage wall and roof slab details.

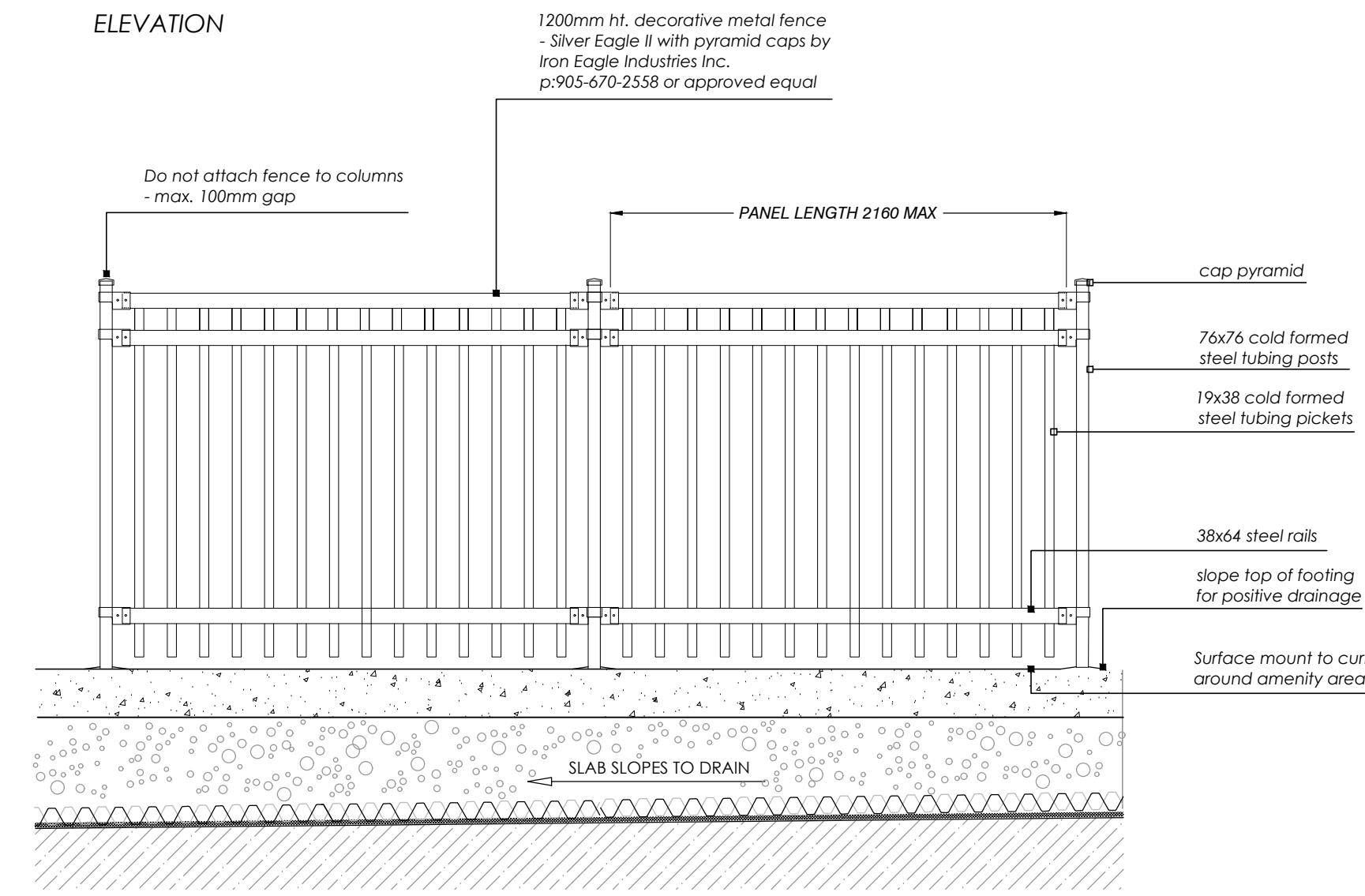
PLANTER WALL SECTION - ON SLAB



PLANTER CURB SECTION - ON SLAB



ELEVATION



LAYOUT

1. All fences adjacent to road allowances and walkways to be erected 0.15m onto private property. Fencing is not to be erected on the lot line or into any road allowance or easement.
2. Footing and excavation to be entirely on proposed development lands.

Raised Concrete Planter Wall & Curb

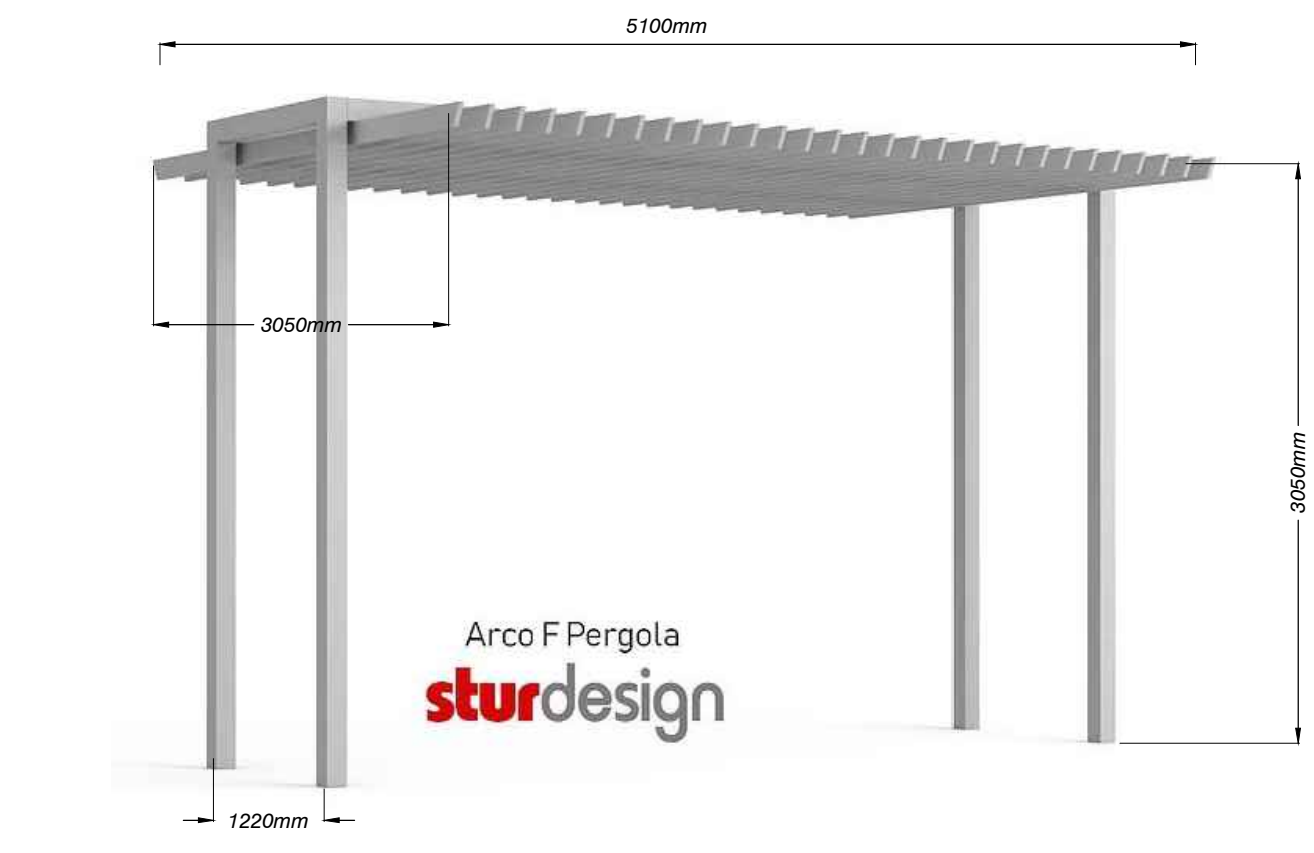
Scale: NTS

1
L-8

Decorative Metal Fence on slab (1200mm Height)

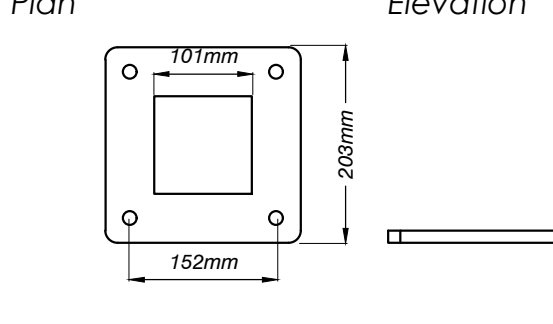
NOT TO SCALE

2
L-8



MOUNTING PLATE

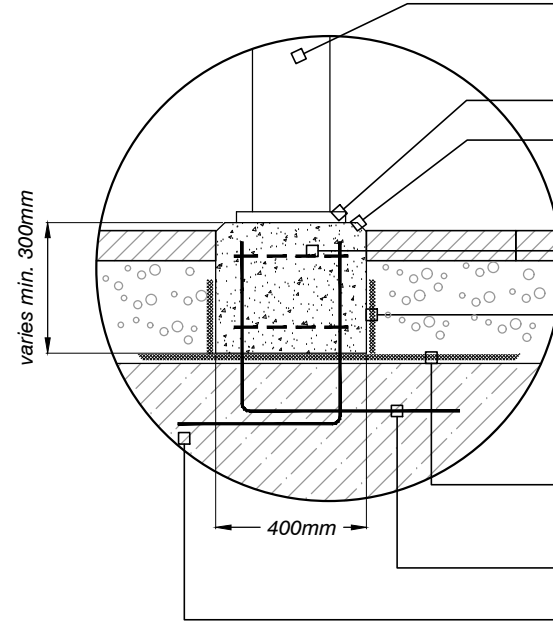
Scale: NTS



NOTE
- Detail to be reviewed and approved by structural engineer prior to construction.
- Install as per manufacturer's specifications.
- Sturdesign Contact Information
Mike Sankey
855-207-9669
www.sturdesign.com

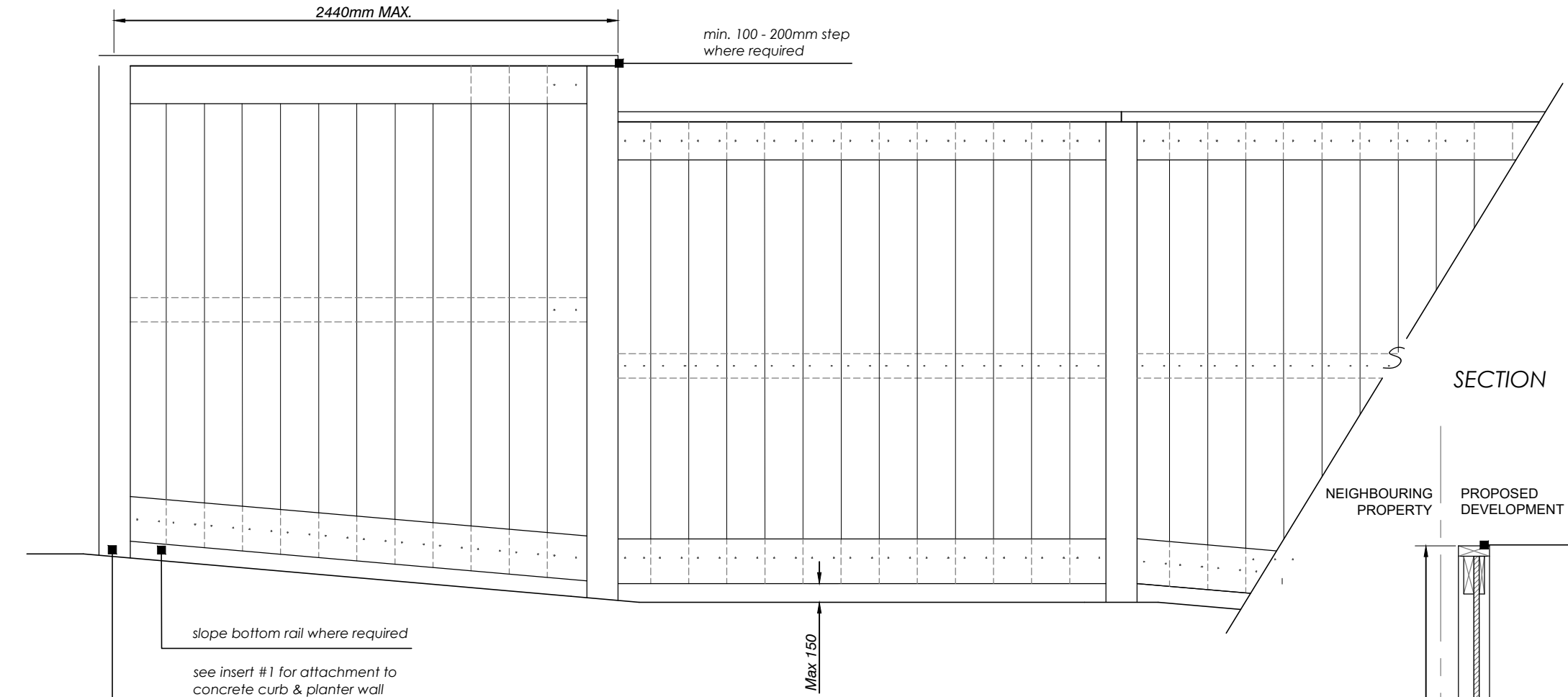
INSET #1 - TYPICAL

Scale: NTS



Acro Pergola by Sturdesign or approved equal

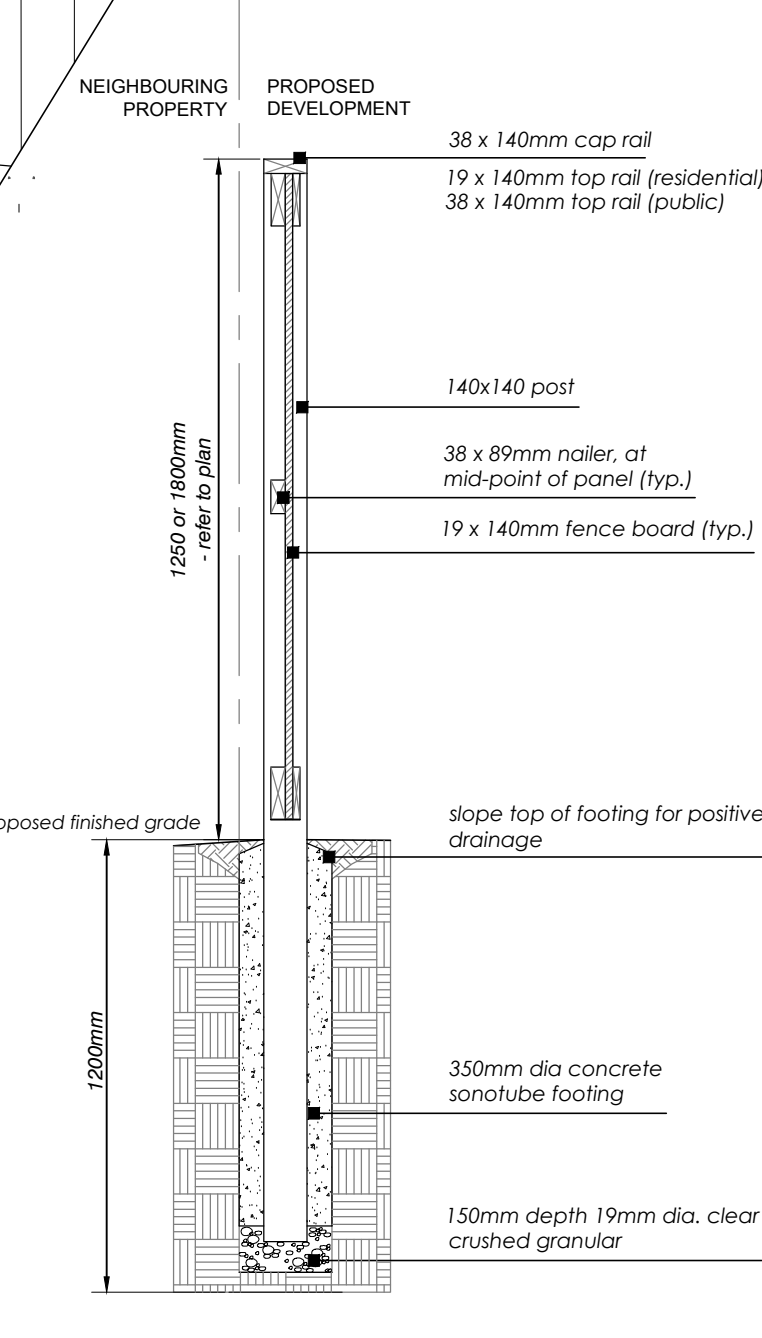
3
L-8



- NOTES:**
1. All materials, components and workmanship to conform to building and local by-laws.
 2. All wood to be Pressure Treated (Spruce, Pine Fir) selected mainly for good appearance all members shall be free of wane and bark pockets. All 10m grain shall be eliminated by sanding and planing. Members exhibiting moderate to heavy knots shall be well distributed throughout the site.
 3. All cuts and holes that expose untreated wood should be liberally brush-coated with two applications of an end-cut preservative (copper naphthenate in ground contact or zinc naphthenate above ground) before the wood is installed. Follow the manufacturer's recommendations re: the application of suitable preservatives.
 4. All wood to bear lumber grading stamp.
 5. All fasteners shall have exterior grade finishes suitable for use with Pressure Treated Lumber. Stainless steel, galvanized, zinc-dipped or ceramic-coated wooddeck screws are acceptable.
 6. All galvanizing to be hot dipped in conformance to CSA standard C164.
 7. Drive all fastener heads below surface of wood. Use sufficient size and quantity of fasteners to ensure a stable, secure structure.
 8. Step fence panels minimum of 100 - 200mm at posts as required by grade conditions. Sloping of panels may be required for certain grade conditions - Consultant's approval required.
 9. Lumber sizes are actual sizes rather than nominal sizes.
 10. Concrete to have minimum compressive strength of 25 MPa @ 28 days with 5-7% air entrainment.
 11. See landscape plan for fence location.

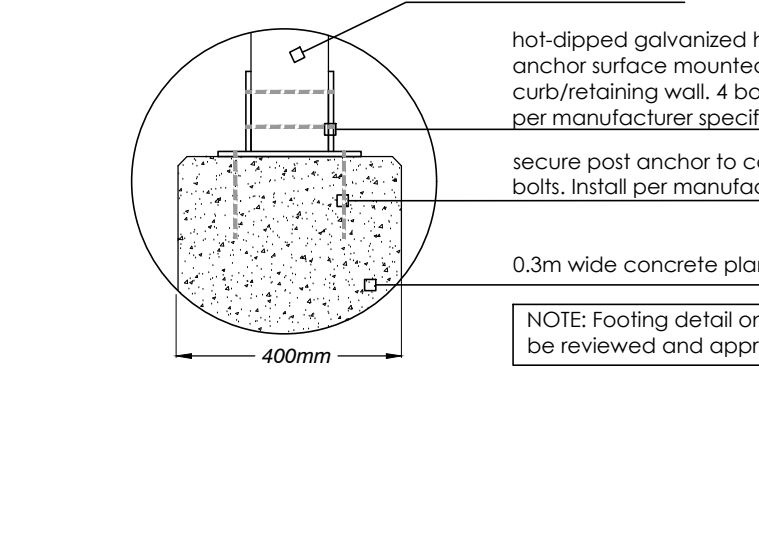
GENERAL LAYOUT NOTES

1. All fences adjacent to road allowances and walkways to be erected 0.15m onto private property. Fencing is not to be erected on the lot line or into any road allowance or easement.
2. Footing and excavation to be entirely on proposed development lands.



INSET #1 - CONCRETE CURB & PLANTER WALL

Scale: NTS



4
L-8

Wood Privacy Fence (1.8m height - pressure treated)

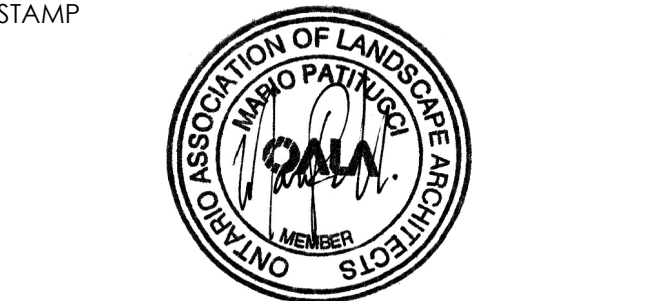
Scale: NTS

4
L-8

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission
6	2024-03-22	Issued for 6th Submission
7	2024-08-14	Issued for 7th Submission
8	2024-11-22	Issued for 8th Submission



CLIENT
Graywood Bronte Village Limited Partnership

MUNICIPALITY
Town of Oakville

PROJECT
2375 Lakeshore Road West

MUNICIPAL FILE NUMBER
OPA. 1729.61 and Z.1729.61

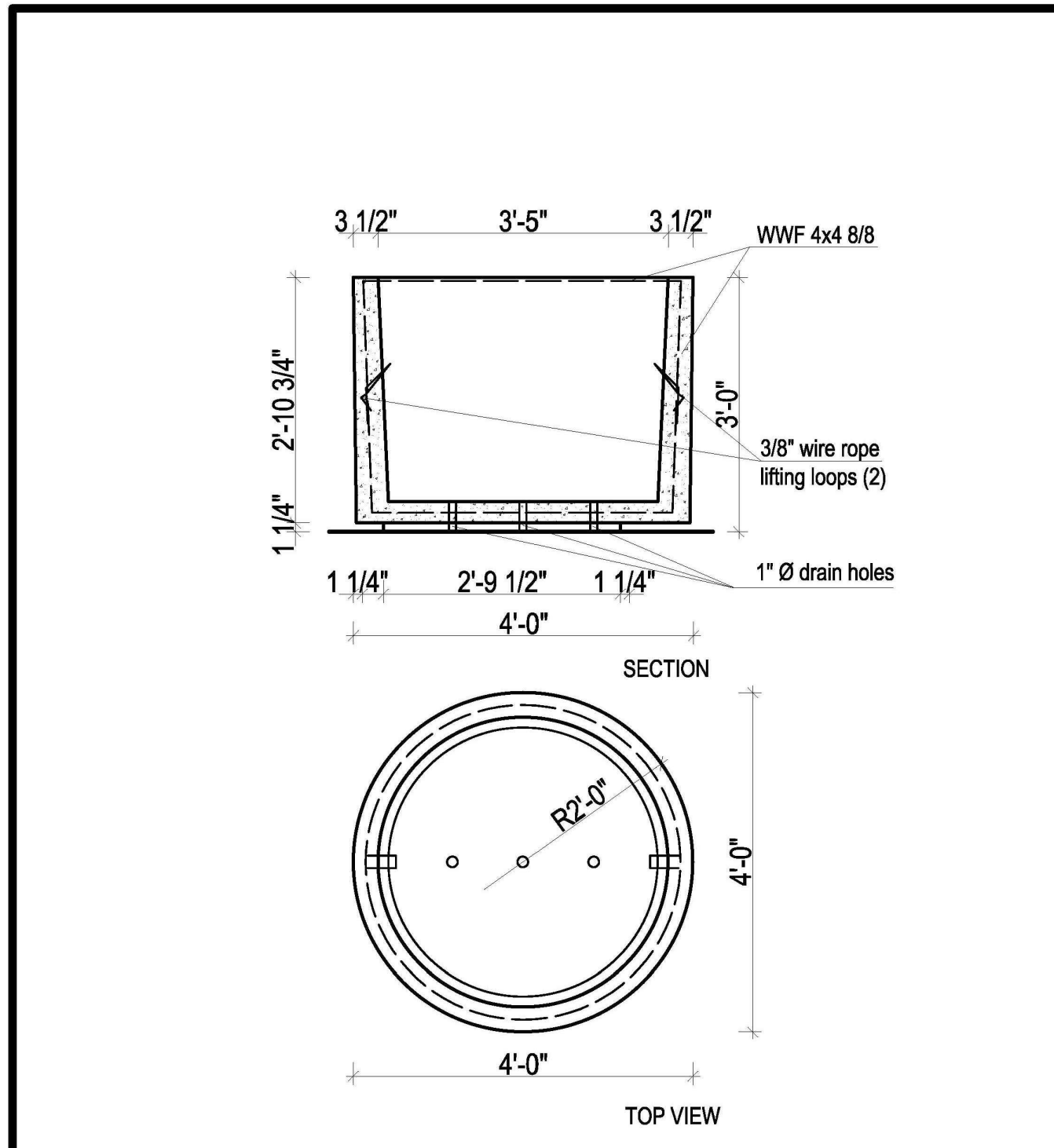
SHEET
Details

adesso design inc.
landscape architecture

69 John Street South, Suite 250
Hamilton, ON L8N 2B9
t. 905.526.8876
www.adessodesigninc.ca

L-8

<p>SANDERSON CONCRETE INC. www.sandersonconcrete.ca 12885 118 Ave SW, Suite 300, Calgary, AB T2C 0A6 Ph: (403) 243-1100 Toll Free: (800) 571-5882 FAX: (403) 243-1111 info@sandersonconcrete.com</p>	PROJECT DESCRIPTION:	DRAWN BY:	SCALE:
	CYLINDRICAL PLANTER	V. TOSHANOVA	DATE:
	RD 4836 48" dia x 36"	APPROVED BY:	DWG NO:
			REV DATE:



Note: Lifting loops are for plant use and ground movement only and are not engineered for overhead use. Extreme caution must be used when lifting planter from lifting loops higher than 12" from ground.

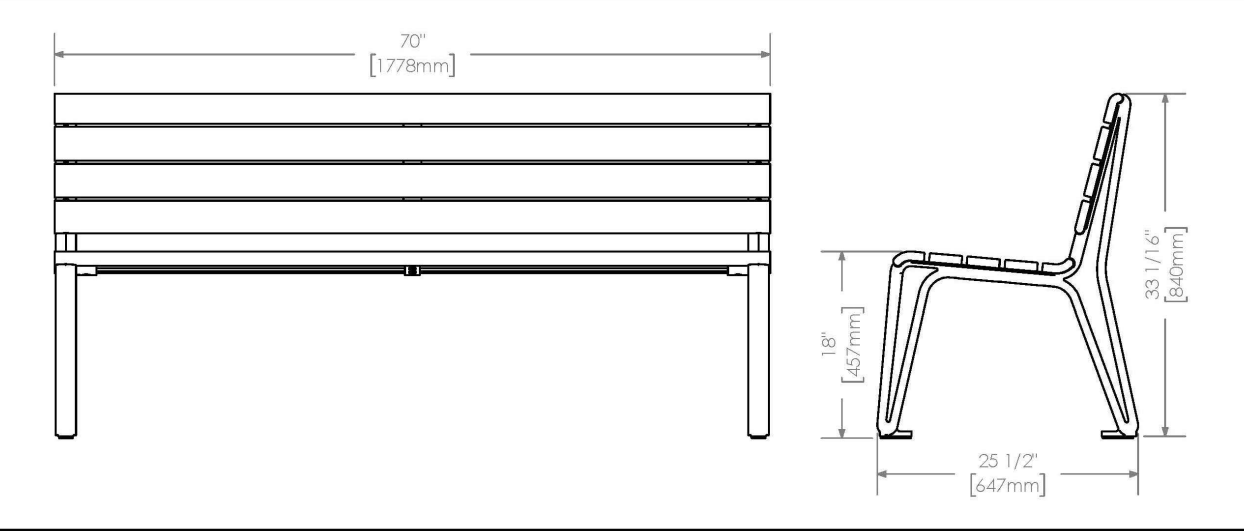
RD4836	Diameter x Height	weight
Cylindrical Planter	48" x 36"	2430 lbs

MBE-2300-00015 **ICONIC**



MATERIALS: The legs are aluminum castings. The boards are made from lpe wood. All brackets are made of steel.
FINISH: The Maglin Powdercoat System provides a durable finish on all aluminum castings. The wood boards are treated with penetrating sealers. The steel brackets are e-coated and powdercoated.
INSTALLATION: The bench is delivered pre-assembled. The legs have 7/16" holes for anchoring.
TO SPECIFY: Select MBE-2300-00015
 Choose:
 - Powdercoat Color

HEIGHT: 33 1/16" (84cm)	LENGTH: 70" (177.8cm)	DEPTH: 25 1/2" (64.7cm)	WEIGHT: 115 lbs (52.1kg)
-------------------------	-----------------------	-------------------------	--------------------------



MAGLIN Site Furniture
 T 800 716 5556 F 877 263 5393 www.maglin.com sales@maglin.com
 *All drawings, specifications, design and details on this page remain the property of Maglin Site Furniture Inc. and may not be used without Maglin authorization.
 *Details and specifications may vary due to continuing improvements of our products.

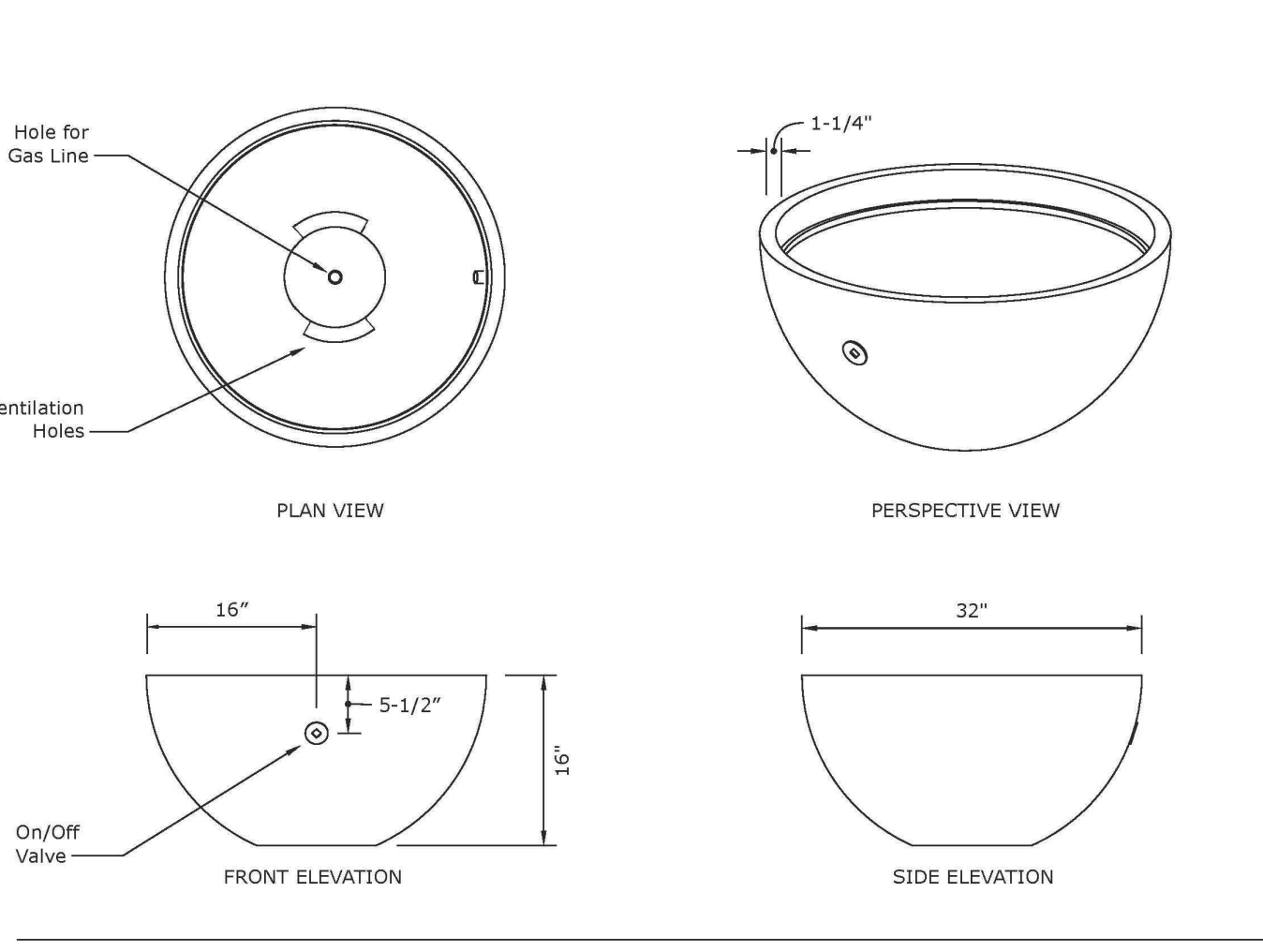
SERENADE

The Serenade fire pit is handmade by Dekko in North America. Ships with your choice of NG or LP burner, one decorative aggregate option and chrome On/Off key.

Size:	32"W x 16"H	
Certification:	CSA/UL Approved	

	Manual Ignition	Electronic Ignition
BTU/Hr	65,000	125,000
Weight	90 lbs	90 lbs
Fuel Options	NG/LP	NG/LP

Optional Accessories:
 Propane Tank Cover 16"W x 16"D x 21"H
 Glass Wind Guard 23"D x 6"H
 Vinyl Weather Cover
 Powder Coated Aluminium Table Top 32"D



www.dekko.ca

Round Concrete planter 1 L-9

Maglin Bench (or approved equal) 2 L-9

Dekko Serenade Fire Pit (or approved equal) 3 L-9

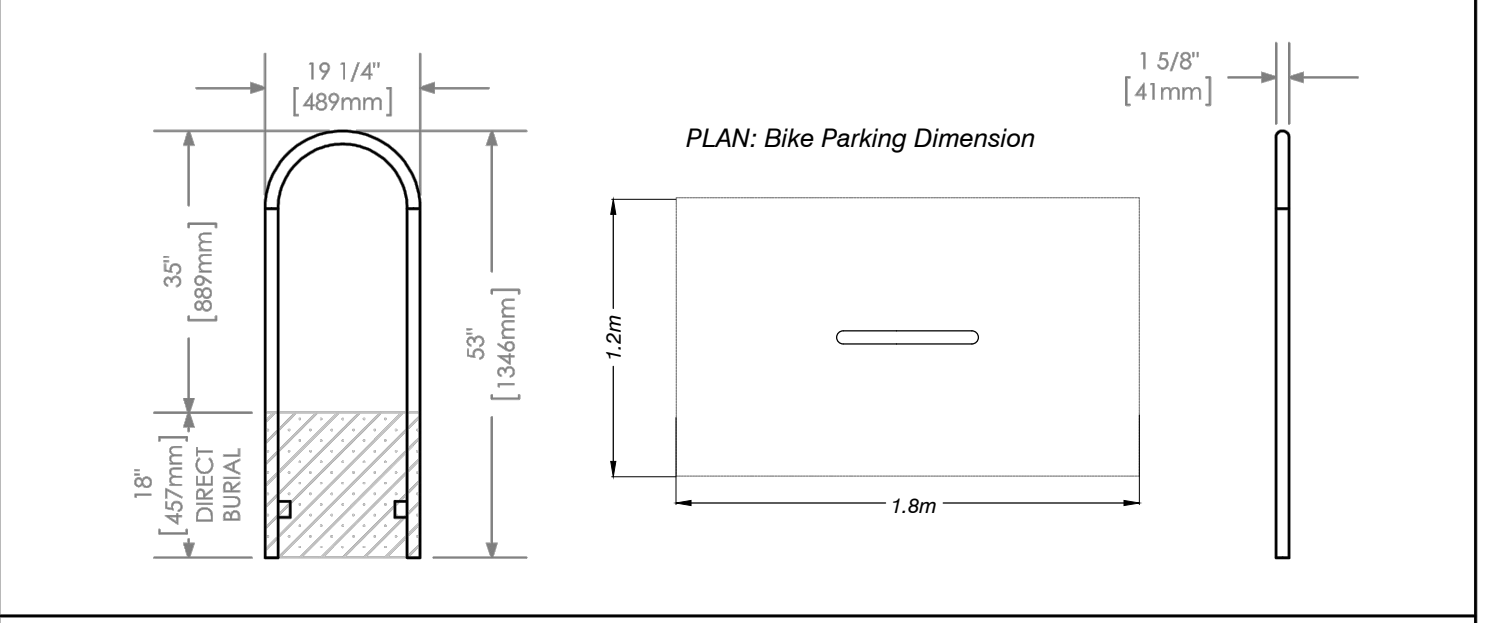
500 SERIES

MBR-0500-00001
 Legacy # MBR500-DB

Sustainability Facts	
Unit Size	One (1) MBR-0500-00001 Bike Rack
Carbon footprint (GWP)	103 kg CO2-Eq
Total energy use (TPE)	1770 Mj-Eq
Waste use (WDP)	0.843 m3 water
Material recyclability	100%
LEED v4.1 Credits	
Type III Environmental Product Declaration	<input checked="" type="checkbox"/>
Material Inventory	<input checked="" type="checkbox"/>
Low VOC finishes	<input checked="" type="checkbox"/>
Free of Red List substances	<input checked="" type="checkbox"/>

DESCRIPTION: 500 Series - 500 Bike Rack: H.S. Steel Tube, Direct Burial, 2 Bike Configuration
FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces. An optional galvanized finish is also available.
INSTALLATION: The bike rack is delivered pre-assembled. It is available in direct burial installation.
TO SPECIFY: Select MBR-0500-00001
 Choose:
 - Powdercoat Color

HEIGHT: 53" (134.6cm)	LENGTH: 19.25" (48.9cm)	DEPTH: 1.63" (4.1cm)	WEIGHT: 19.41lbs (8.8kg)
-----------------------	-------------------------	----------------------	--------------------------



MAGLIN Site Furniture
 T 800 716 5556 F 877 263 5393 www.maglin.com sales@maglin.com
 *All drawings, specifications, design and details on this page remain the property of Maglin Site Furniture Inc. and may not be used without Maglin authorization.
 *Details and specifications may vary due to continuing improvements of our products.

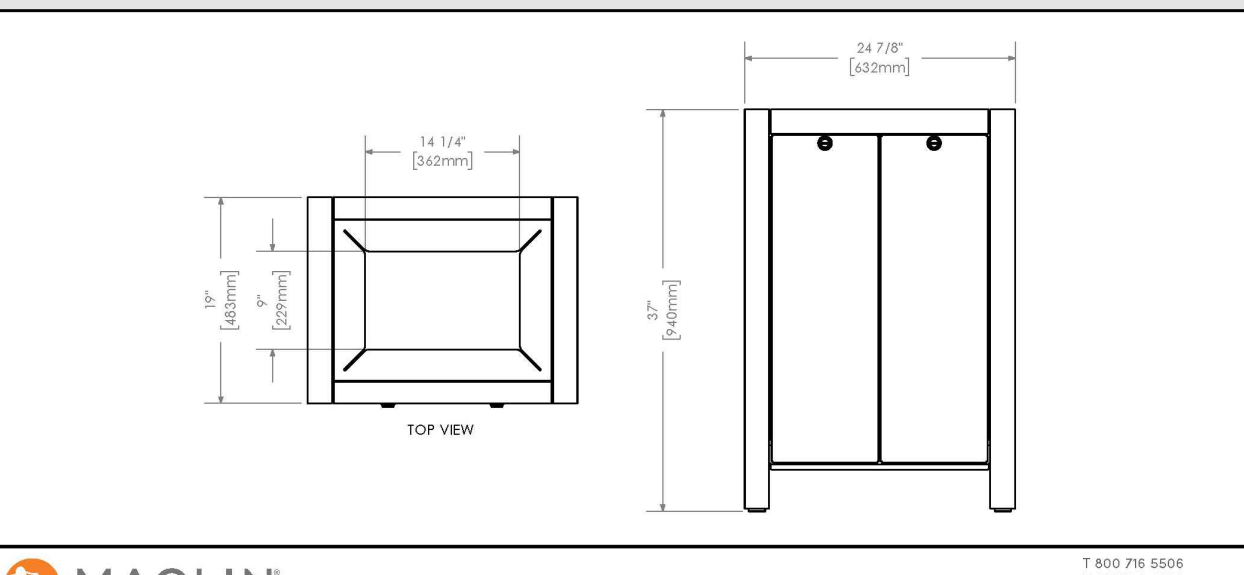
Maglin Bike Rack (or approved equal) 4 L-9

LEXICON

MTR-1500-00001
 Legacy #LXRC1500-32-MS-LD0ST-LD0

DESCRIPTION: 1500 Series - Lexicon Trash Receptacle: Steel Frame, Laser Cut and Formed Steel Side Panels, Metal Lids, Front Opening, 3 Streams, 1 x 32 Gallon Polyethylene Liner
FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.
INSTALLATION: The trash/recycle unit is delivered pre-assembled. Holes (9/16") are provided in each mounting foot for securing to base.
TO SPECIFY: Select MTR-1500-00001
 Choose:
 - Powdercoat Color

HEIGHT: 37" (94.0cm)	LENGTH: 24.88" (63.1cm)	DEPTH: 19" (48.3cm)	WEIGHT: 142.95lbs (64.8kg)
----------------------	-------------------------	---------------------	----------------------------



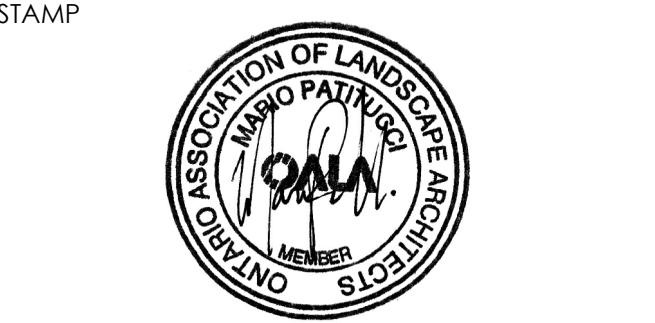
MAGLIN Site Furniture
 T 800 716 5556 F 877 263 5393 www.maglin.com sales@maglin.com
 *All drawings, specifications, design and details on this page remain the property of Maglin Site Furniture Inc. and may not be used without Maglin authorization.
 *Details and specifications may vary due to continuing improvements of our products.

Maglin Trash Receptacle (or approved equal) 5 L-9

NOT FOR CONSTRUCTION
 ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission
6	2024-03-22	Issued for 6th Submission
7	2024-08-14	Issued for 7th Submission
8	2024-11-22	Issued for 8th Submission



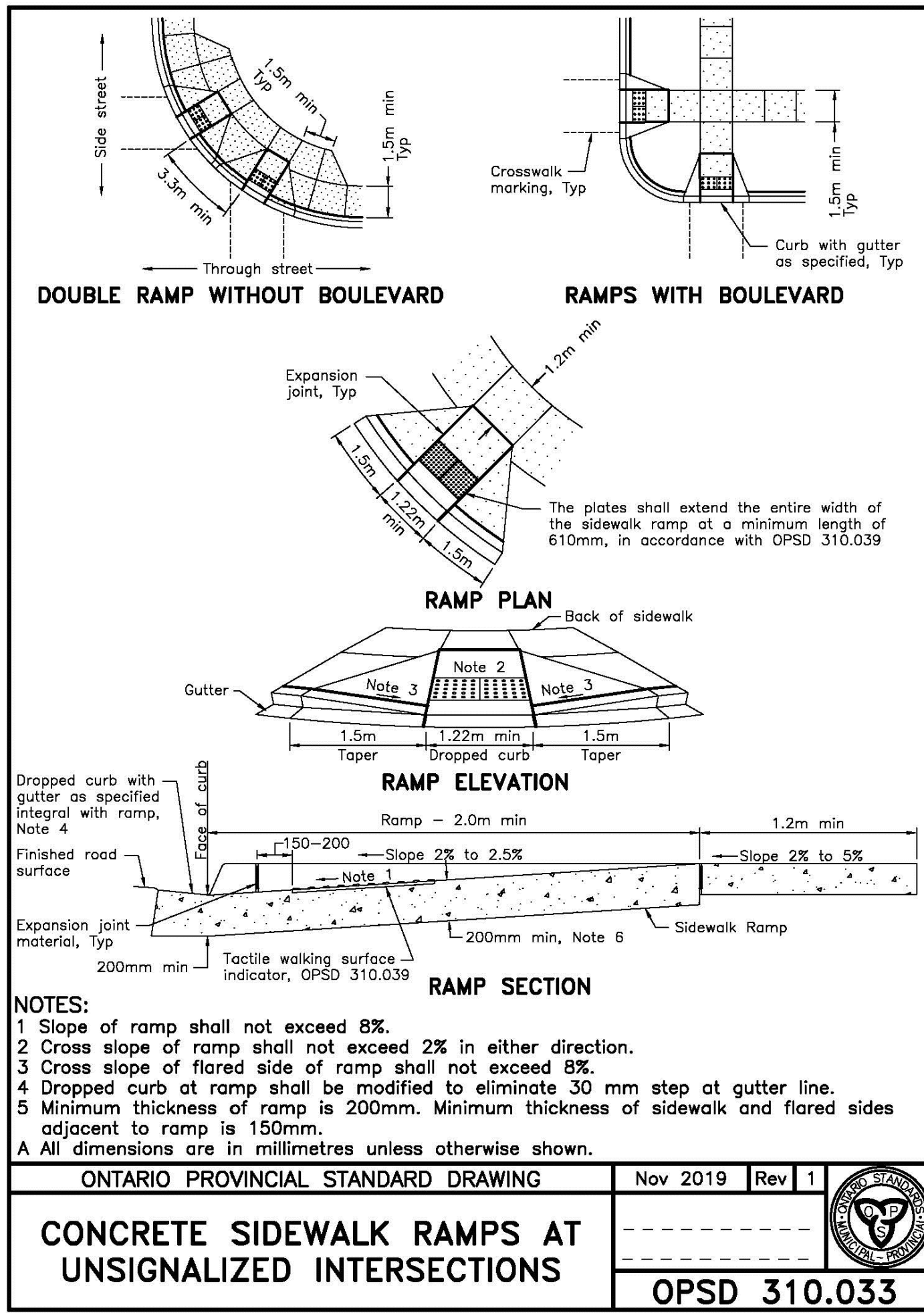
CLIENT
 Graywood Bronte Village Limited Partnership
 MUNICIPALITY
 Town of Oakville
 PROJECT
 2375 Lakeshore Road West

MUNICIPAL FILE NUMBER
 OPA. 1729.61 and Z.1729.61

SHEET
 Details L-9

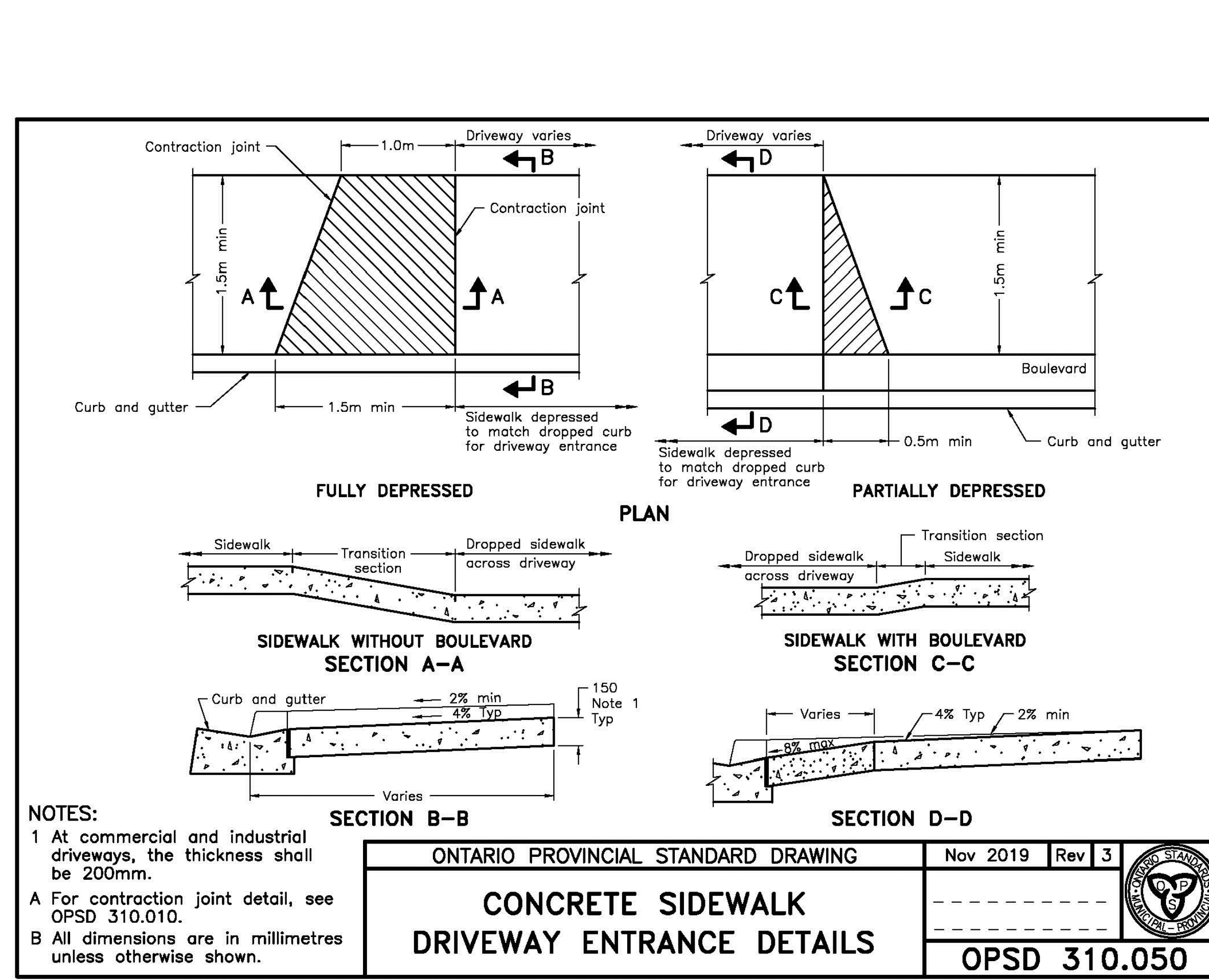
adesso design inc.
 landscape architecture

69 John Street South, Suite 250
 Hamilton, ON L8N 2B9
 t. 905.526.8876
 www.adessodesigninc.ca



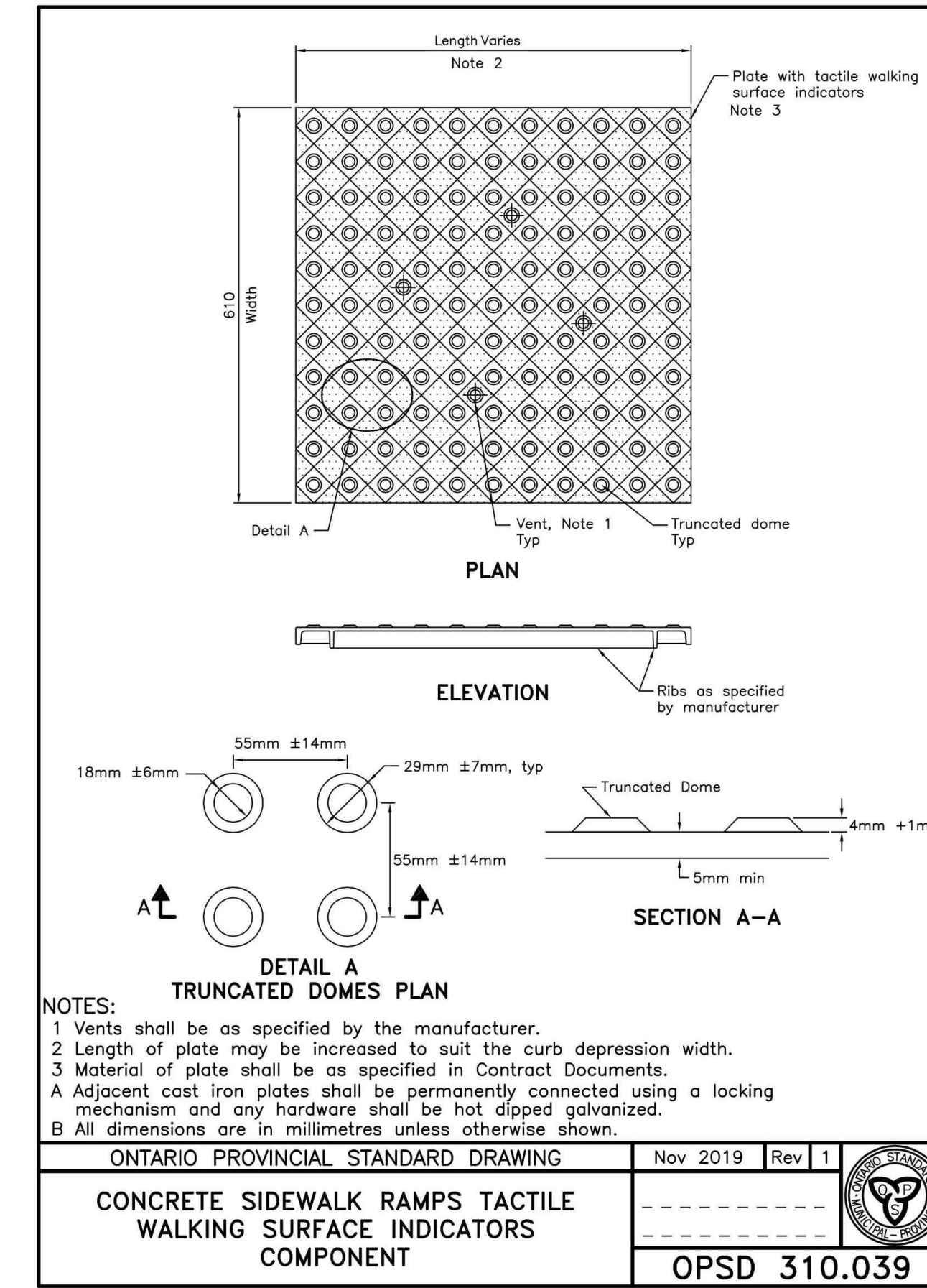
Concrete sidewalk ramps at unsignalized intersection (OPSD 310.033)

1
L-10



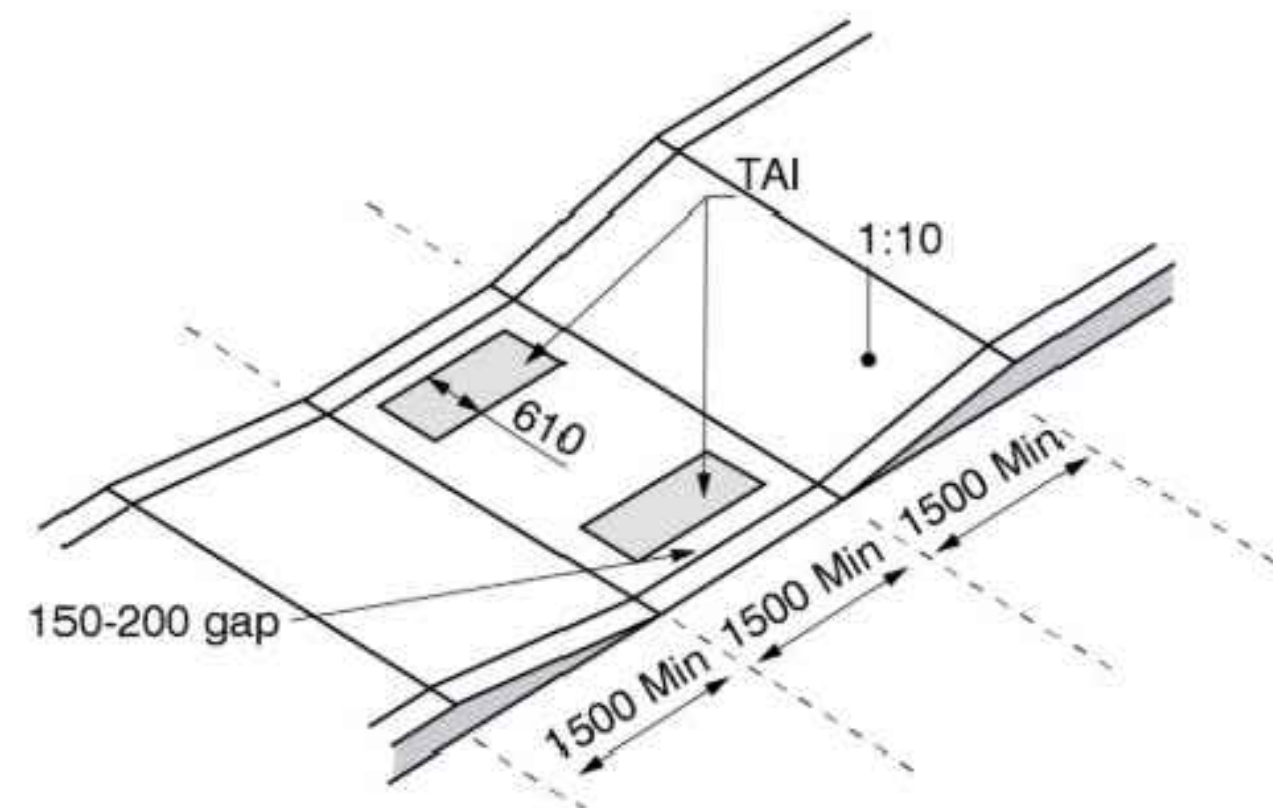
Concrete sidewalk driveway entrance detail (OPSD 310.050)

2
L-10



Concrete sidewalk ramps tactile walking surface indicators component (OPSD 310.039)

3
L-10



[Diagram 39.G] Curb Ramp at Narrow Sidewalk

Concrete sidewalk ramps at narrow sidewalk (Town of Oakville 39.G)

4
L-10

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission
6	2024-03-22	Issued for 6th Submission
7	2024-08-14	Issued for 7th Submission
8	2024-11-22	Issued for 8th Submission

STAMP



CLIENT
Graywood Bronte Village Limited Partnership

MUNICIPALITY
Town of Oakville

PROJECT
2375 Lakeshore Road West

MUNICIPAL FILE NUMBER
OPA. 1729.61 and Z.1729.61

SHEET
Details

L-10

adesso design inc.
landscape architecture

69 John Street South, Suite 250
Hamilton, ON L8N 2B9
t. 905.526.8876
www.adessodesigninc.ca