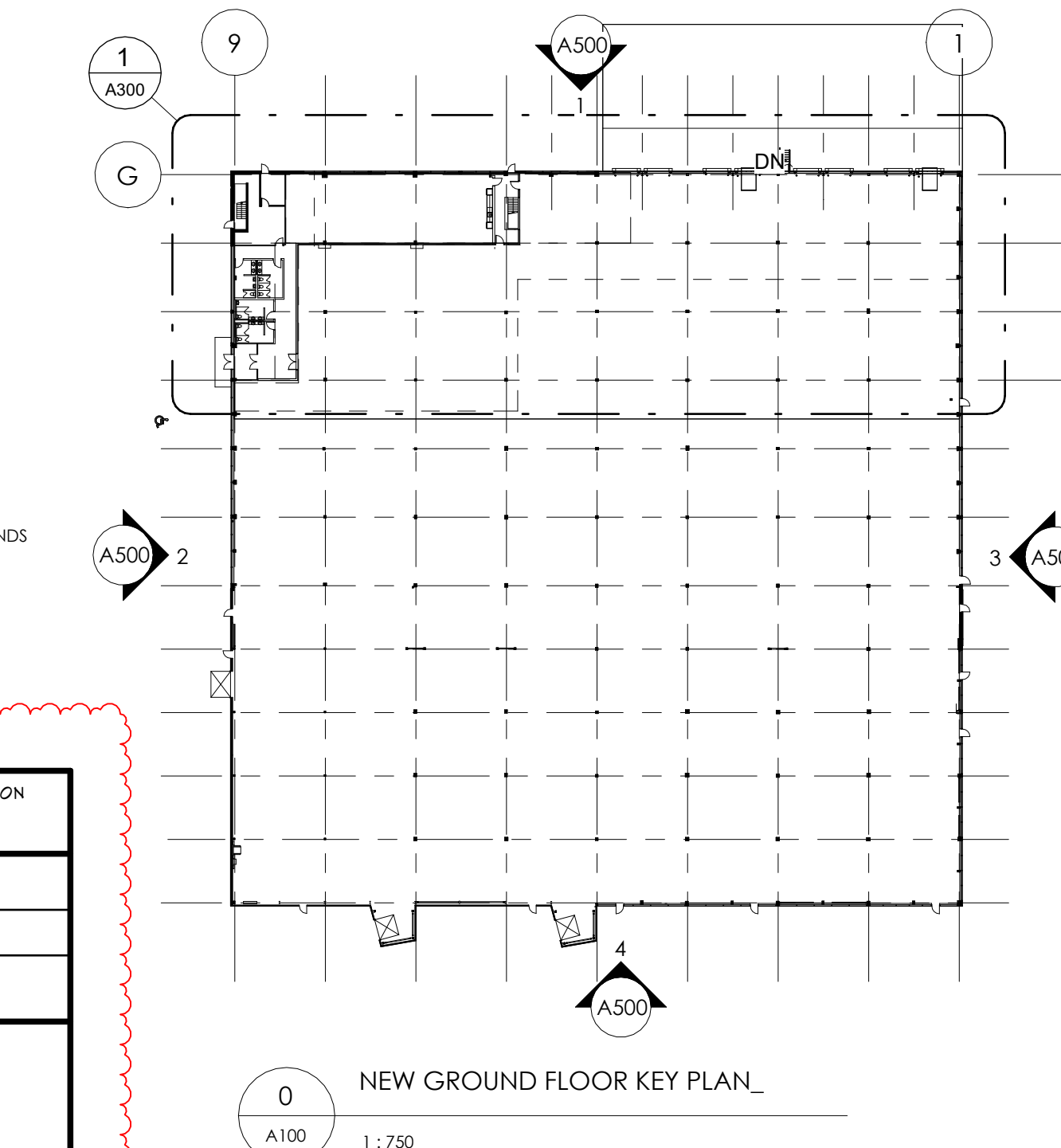
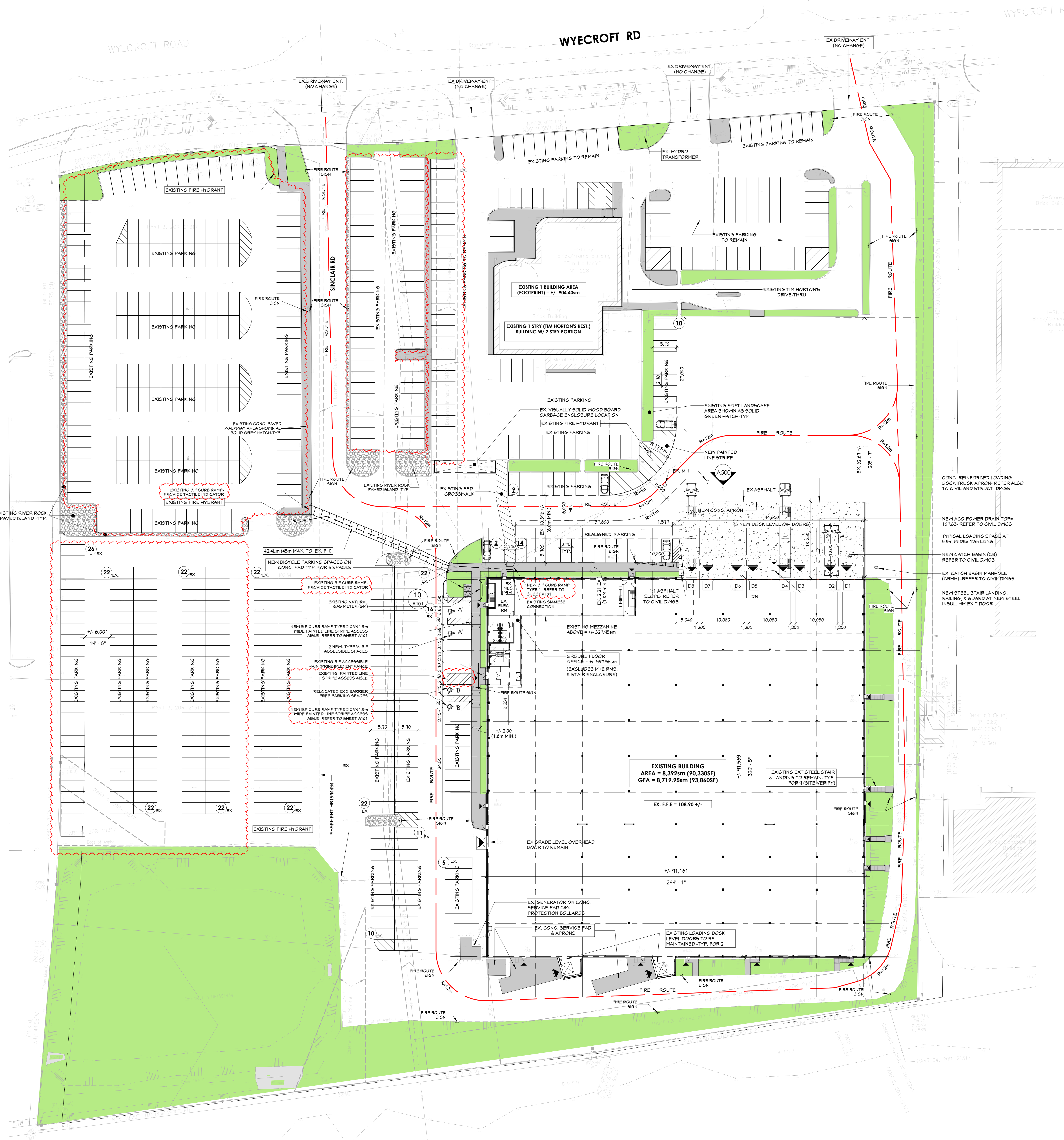




KEY PLAN
SITE: 226 Wycroft Rd



NEW SECOND FLOOR PLAN
1:750



SITE AND BUILDING DATA

OFFICIAL PLAN DESIGNATION - EXISTING ZONING

1.0 LOT AREA = 46,937m², 4.6937 Hectares, 11.59ac
 2.0 No. 228 WYECROFT RD, EX. TIM HORTONS' BUILDING AREA FOOTPRINT = +/- 904.40m², 1.93% (EXISTING)
 2.1 No. 226 WYECROFT RD, BUILDING AREA (FOOTPRINT) = +/- 8,392.00m², 17.87% (EXISTING)

3.0 BUILDING AREA (GFA) = +/- 8,719.95m² (EXISTING) 18.57%
 3.1 GROUND FLOOR OFFICE = +/- 777.53m² (EXISTING)
 3.2 WAREHOUSE = +/- 7,614.47m² (EXISTING)
 3.3 MEZZANINE LEVEL = +/- 327.95m² (EXISTING)

4.0 FRONT YARD SET-BACKS (NORTH) REQUIRED 42.57m EXISTING (NO CHANGE) 42.57m
INTERIOR SIDE YARD (EAST) 16.24m
INTERIOR SIDE YARD (WEST) 102.54m
REAR YARD (SOUTH) 11.93m

5.0 LANDSCAPE AREAS:
 5.1 SOFT LANDSCAPE AREA = 7,555m², 16.09%
 5.2 RIVER ROCK = 4,450m², 10.95%
 5.3 CONCRETE PAVEMENT = 1,200m², 2.54% (INCLUDES EXISTING WALKWAYS, CONC. SERVICE PADS, CONCRETE APRONS, & ISLANDS)
 5.4 NEW CONCRETE APRON = 816m², 1.74%
 5.5 ASPHALT PAVEMENT = 27,424.40m², 58.66%

6.0 SNOW STORAGE:
 DESIGNATED SNOW STORAGE AREAS TO BE EQUAL TO MIN. 15% OF TOTAL HARD SURFACES ON THE SITE

VEHICLE PARKING:

USE	GFA sqm	NET FLOOR AREA	PARKING RATE	PARKING REQUIRED	PARKING PROVIDED ON PROPERTY
228 WYECROFT RESTAURANT	291.70	291.70	1/10	29.17	
OFFICE TOTAL	1478.10	1478.10	1/25	42.15	
226 WYECROFT OFFICE GROUND FLOOR	464.60	219.10m		11 REQUIRED	107 PROVIDED ON 228 WYECROFT PORTION
1100 FOR THE FIRST 1700sqm OF NET FLOOR AREA	327.95m	*271.95m	FIRST 1700sqm 1/200-15 SPACES		
1200 FOR ANY ADDITIONAL NET FLOOR AREA	7927.52m	1528.56m	8388.33m - 1700sqm = 6688.33m/200 = 4.44 SPACES	33 SPACES REQUIRED	274 PROVIDED ON 228 WYECROFT PORTION
* NOTE IF OFFICE IS LESS THAN 25% THEN THE SAME RATE AS PER THE PRIMARY USE					
240 WYECROFT MULTIPLE USES	3220.98 sqm		VARIES DEPENDING ON USE	115	156 SPACES PROVIDED ON 240 WYECROFT RD
874 SINCLAIR MULTIPLE USES	1511.0 sqm		1/34	149	191 SPACES ON 874 SINCLAIR 2 ON OTHER PROPERTIES TO SPECIAL PROVISIONS #6
TOTAL	8714.98m	8388.33m	71.44 SPACES		

BARRIER FREE PARKING:
 TYPE 'A' SPACE AT 3.45m WIDE x 5.7m DEEP WITH 1.5m WIDE PAINTED SHARED ACCESS AISLE
 TYPE 'B' SPACES AT 2.70m WIDE x 5.7m DEEP WITH 1.5m WIDE PAINTED SHARED ACCESS AISLE
 BARRIER FREE PARKING FORMULA AT 4% OF PROVIDED PARKING
 79.45 = 3.84 + 4.0 B.F. SPACES REQUIRED

REQUIRED: 62 PARKING SPACES
 PROVIDED: 76 PARKING SPACES (INCLUDES 4 BARRIER-FREE PARKING - 2 TYPE 'A' AND 2 TYPE 'B' SPACES)
 (BARRIER FREE PARKING SPACES CALCULATED AND PROVIDED FOR NO. 226 WYECROFT RD. ONLY)

BICYCLE PARKING: REFER ALSO TO SPECIAL PROVISION #10
 TYPICAL PARKING SPACE: 0.6m WIDE x 1.3m DEEP W/ 0.9m (MIN.) WIDE APPROACH AISLE
 BICYCLE PARKING FORMULA: 1/12 SPACES = 0.22/1000m² OF NET FLOOR AREA
 REQUIRED: 18 PARKING SPACES
 PROVIDED: 5 PARKING SPACES

GENERAL NOTES TO SITE PLAN:

ALL EXISTING FIRE ROUTES TO BE MAINTAINED THROUGHOUT CONSTRUCTION
 ALL EXISTING FIRE SEPARATIONS TO BE MAINTAINED THROUGHOUT CONSTRUCTION
 MAINTAIN MINIMUM FIRE RESISTANCE RATINGS FOR ALL EXISTING STRUCTURES SUPPORTING THE ROOF OR FLOOR ASSEMBLY IMMEDIATELY ABOVE AS REQUIRED BY OBC-LATEST EDITION
 ALL OPENINGS/HOLES IN NEW AND EXISTING FIRE SEPARATIONS AND FIRE RATED ASSEMBLIES TO BE SEALED/ FIRE STOPPED, 3.1.8.3, & 3.1.9
 A BARRIER FREE PATH OF TRAVEL WITH AN UNOBSTRUCTED WIDTH OF 1.000m SHALL BE PROVIDED THROUGHOUT ALL NORMALLY OCCUPIED AREAS, 3.8.1.3.(1), 3.8.2.1.(1)
 EXISTING BUILDING SAFETY SERVICES (IF ANY) INCLUDING SPRINKLER SYSTEM, FIRE ALARM SYSTEM, ETC. WHERE APPLICABLE FOR THE ENTIRE BUILDING SHALL REMAIN PROTECTED, FULLY OPERATIONAL, AND UNINTERRUPTED THROUGHOUT THE CONSTRUCTION EXCEPT FOR THE SPECIFIC LOCATIONS OUTLINED ON THE PERMIT DRAWINGS, WHERE MODIFICATIONS ARE PROPOSED.
 FUNCTIONALITY OF EXISTING BUILDING SAFETY SERVICES
 ALL REQUIRED EXITS AND ACCESS TO EXITS SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE.
 FIRE SEPARATIONS: MAINTAIN INTEGRITY OF FIRE SEPARATIONS OF EXISTING FLOOR ASSEMBLY, WALL ASSEMBLY, CEILING/ROOF ASSEMBLY AND VERTICAL SHAFTS.
 STRUCTURAL COMPONENTS
 NO STRUCTURAL ELEMENT SHALL BE MODIFIED/ALTERED IN ANYWAY. QUALIFIED P.E. SHALL BE CONSULTED IMMEDIATELY SHOULD THERE BE ANY UNCERTAINTY REGARDING THIS ISSUE ON SITE. NO WORK SHALL BE CARRIED OUT UNTIL CLEAR INSTRUCTION FROM THE QUALIFIED PERSON IS ISSUED.

INFORMATION ON THIS SITE PLAN TAKEN FROM:

TOPOGRAPHIC PLAN OF SURVEY OF BLOCK "F" AND PART OF BLOCKS B AND C
 PART OF SINCLAIR ROAD
 CLOTTED BY BY-LAW 1999-107, INSTRUMENT 14 1819001
 ALL OF 1-FOOT RESERVE
 CLOTTED BY BY-LAW 1999-107, INSTRUMENT 14 1819001
 REGISTERED PLAN 949
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON

CURRIENHAM MCCONNELL LIMITED
 220 DUNDAS ST. W. 2ND FL. TORONTO, ONT. M5G 1C8
 TEL: (416) 593-2200 FAX: (416) 593-2201
 1000 SHEPPARD AVE. E. 2ND FL. SCARBOROUGH, ONT. M1B 4Y9
 TEL: (416) 291-2200 FAX: (416) 291-2201

NO.	REVISIONS	DATE	BY:
8			
7			
6	RE ISSUED AS PER SPA COMMENTS	JULY 12/24	GN
5	RE ISSUED FOR SPA AS PER CITY COMMENTS	JUNE 14/24	GN
4	ISSUED FOR BUILDING PERMIT	MAY 22/24	GN
3	ISSUED FOR REVIEW AND COORDINATION	MAY 09/24	GN
2	ISSUED FOR SPA	MAR 29/24	GN
1	ISSUED FOR REVIEW AND COORDINATION	FEB 25/24	GN

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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB.

NATALE ARCHITECT INC.
 5075 7th
 5488 Dundas St. West
 Scarborough, Ontario
 M1S 2E3
 Tel: (416) 233-1201
 Fax: (416) 233-1202

ONTRIO ASSOCIATION OF ARCHITECTS
 OF
ARCHITECTS
 MICHAEL SPAZIANI ARCHITECT
 JULY 12/24

CLIENT: **FIRST GULF**

PROJECT: **Building Renovations & Site Alterations for Change of Use from Office to Industrial.**
 226 Wycroft Rd. Oakville, Ontario L6K 3X7

SITE PLAN FILE #: SP_1617_06/01

DRAWING: **SITE PLAN AND SITE PLAN DATA**

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS CROSS REFERRED BY:

DRAWN BY: nm	CHECKED BY: GN
DATE: FEB. 2024	SCALE: AS NOTED
PROJECT NO.:	DRAWING NO.: